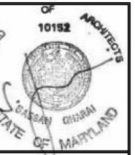


22 WEST JEFFERSON RENOVATION

ROCKVILLE, MD 20850



(T) 301-652-6263
(F) 301-652-6263



PROFESSIONAL CERTIFICATION UNDER CAPACITY AND CONTROL OF THE LICENSED PROFESSIONAL ENGINEER OR ARCHITECT IS REQUIRED FOR ALL WORK UNDER THE JURISDICTION OF THIS BOARD.

ISSUED	
Date	Description
2/8/23	PERMIT SET
4/7/23	PI Out of CD Set



PROJECT TEAM

OWNER:

22 WEST JEFFERSON LLC
7508 WISCONSIN AVENUE, 4TH FLOOR
BETHESDA, MD 20814
TEL: (301)652-6263
FAX: (301)652-6263
CONTACT: SAS GHARAI
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STRUCTURAL ENGINEER:

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MEP ENGINEER:

EPIC CONSULTANTS INV.
1080 SPEASMAKER LANE
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TEL: (703) 408-4154
FAX: (703) 408-4154
CONTACT: VIGEN YEDIGARIAN
EMAIL: EPICVAY@AOL.COM

VICINITY MAP



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F202	FIRE PROTECTION SECOND & THIRD FLOOR PLANS
F400	FIRE PROTECTION RISER DIAGRAM

SPACE LEFT BLANK FOR CITY OF ROCKVILLE

OWNER:
22 West Jefferson LLC
7508 Wisconsin Ave., Bethesda, MD 20814

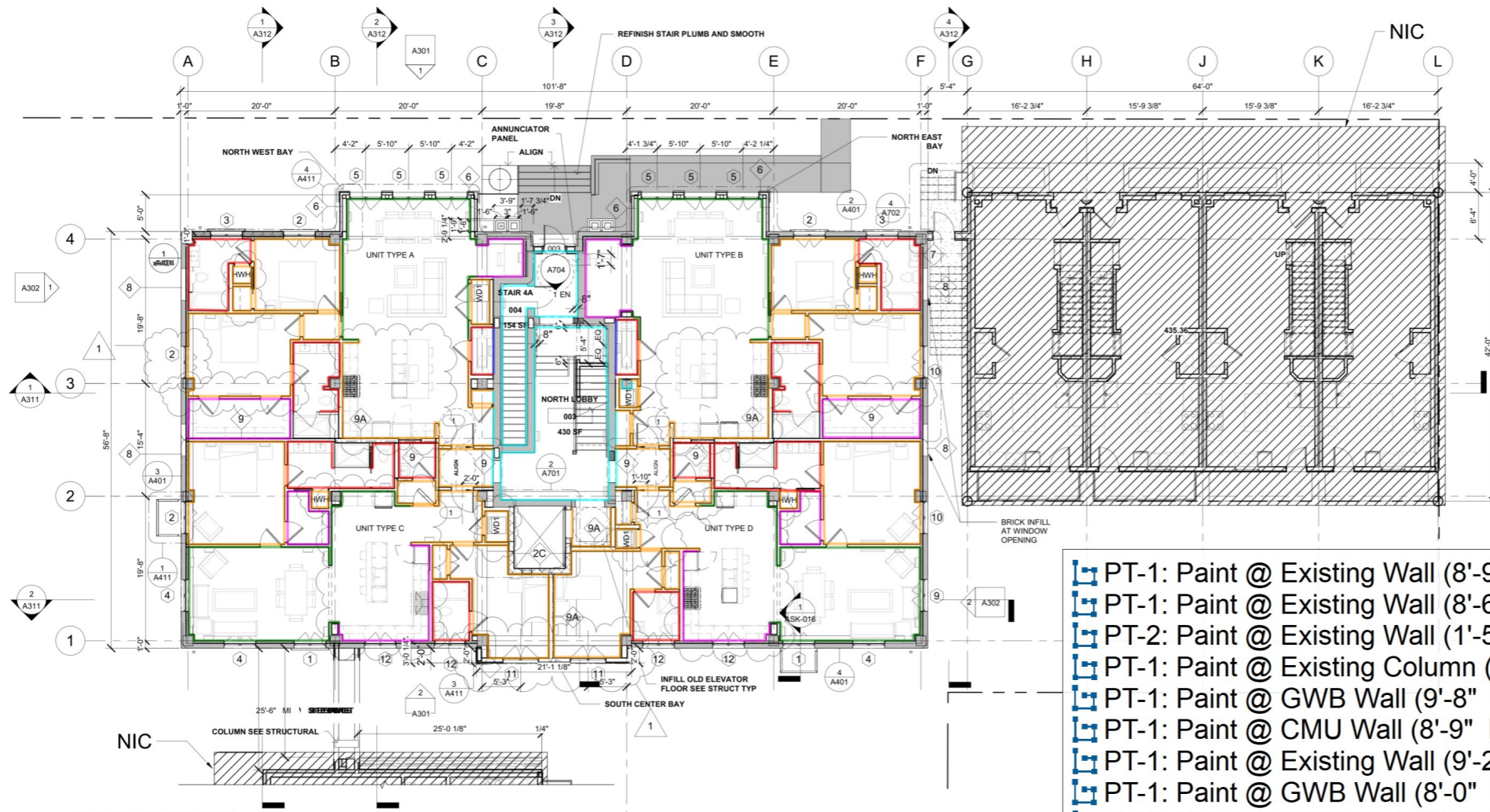
PROJECT:
22 WEST JEFFERSON, Rockville, MD 20850
22 West Jefferson, Rockville, MD 20850

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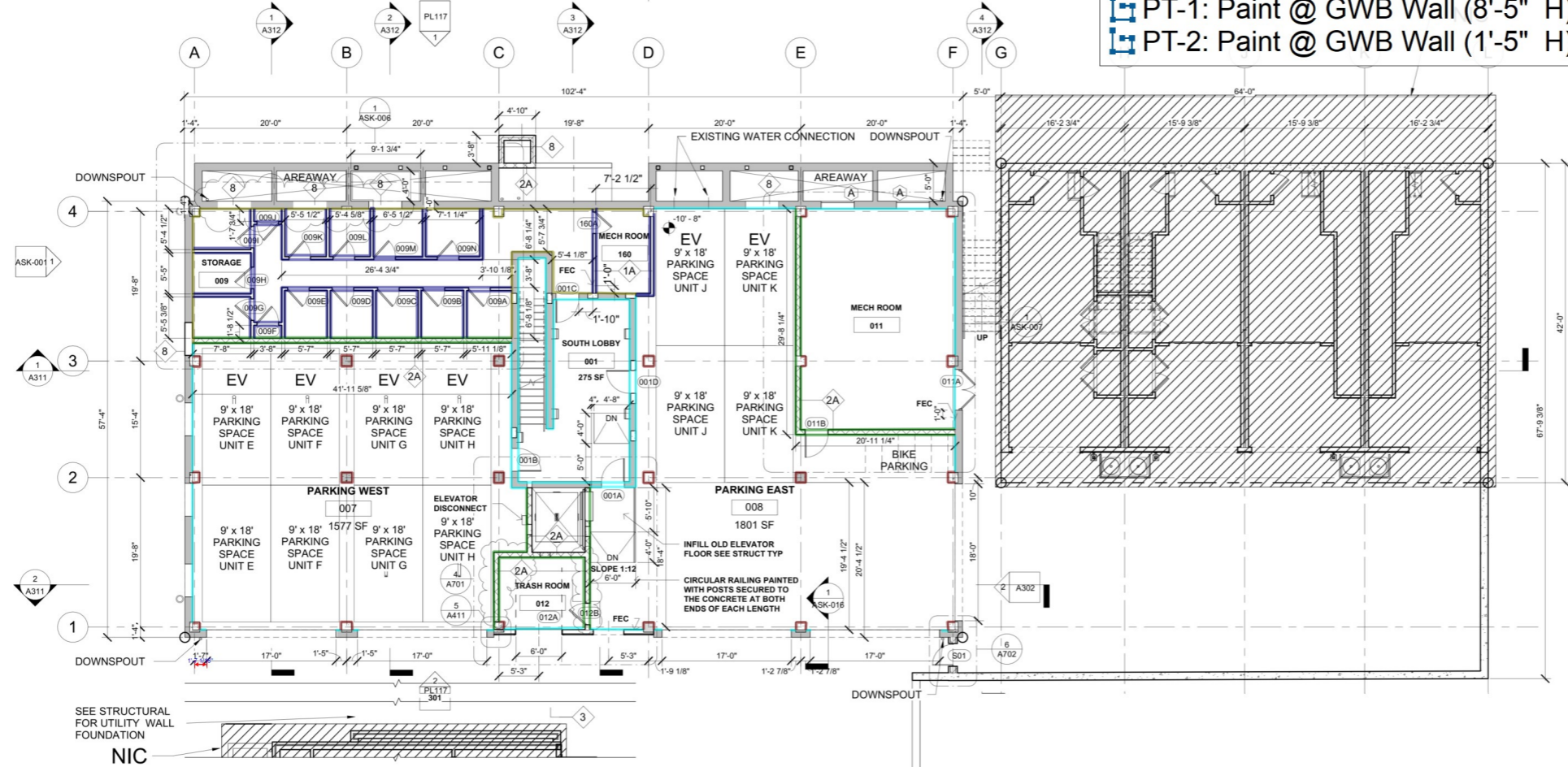
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Checked By	Checker
Scale	
Project #	100-2101

SHEET TITLE
COVER SHEET

SHEET
0001



1 1ST FLOOR PLAN - RENOVATION
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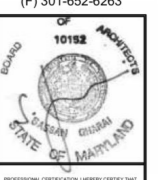


2 BASEMENT FLOOR PLAN - RENOVATION
SCALE: 1/8" = 1'-0"

GENERAL PLAN NOTES:

1. SEE A401, A402, A403 FOR DIMENSIONS FOR ALL UNITS
2. MATCH NEW FURRING WITH ANY ADJACENT WINDOW SILLS

PT-1: Paint @ Existing Wall (8'-9" H)	301.7 FT
PT-1: Paint @ Existing Wall (8'-6" H)	176.8 FT
PT-2: Paint @ Existing Wall (1'-5" H)	13.8 FT
PT-1: Paint @ Existing Column (8'-9" H)	74.1 FT
PT-1: Paint @ GWB Wall (9'-8" H)	267.4 FT
PT-1: Paint @ CMU Wall (8'-9" H)	252.1 FT
PT-1: Paint @ Existing Wall (9'-2" H)	113.0 FT
PT-1: Paint @ GWB Wall (8'-0" H)	228.0 FT
PT-1: Paint @ GWB Wall (9'-2" H)	360.0 FT
PT-1: Paint @ GWB Wall (8'-5" H)	871.0 FT
PT-2: Paint @ GWB Wall (1'-5" H)	337.4 FT



ISSUED	Date	Description
2/29/23	PERMIT SET	
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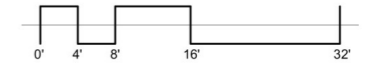
OWNER:
22 West Jefferson LLC
7508 Wisconsin Ave, Bethesda, MD 20814

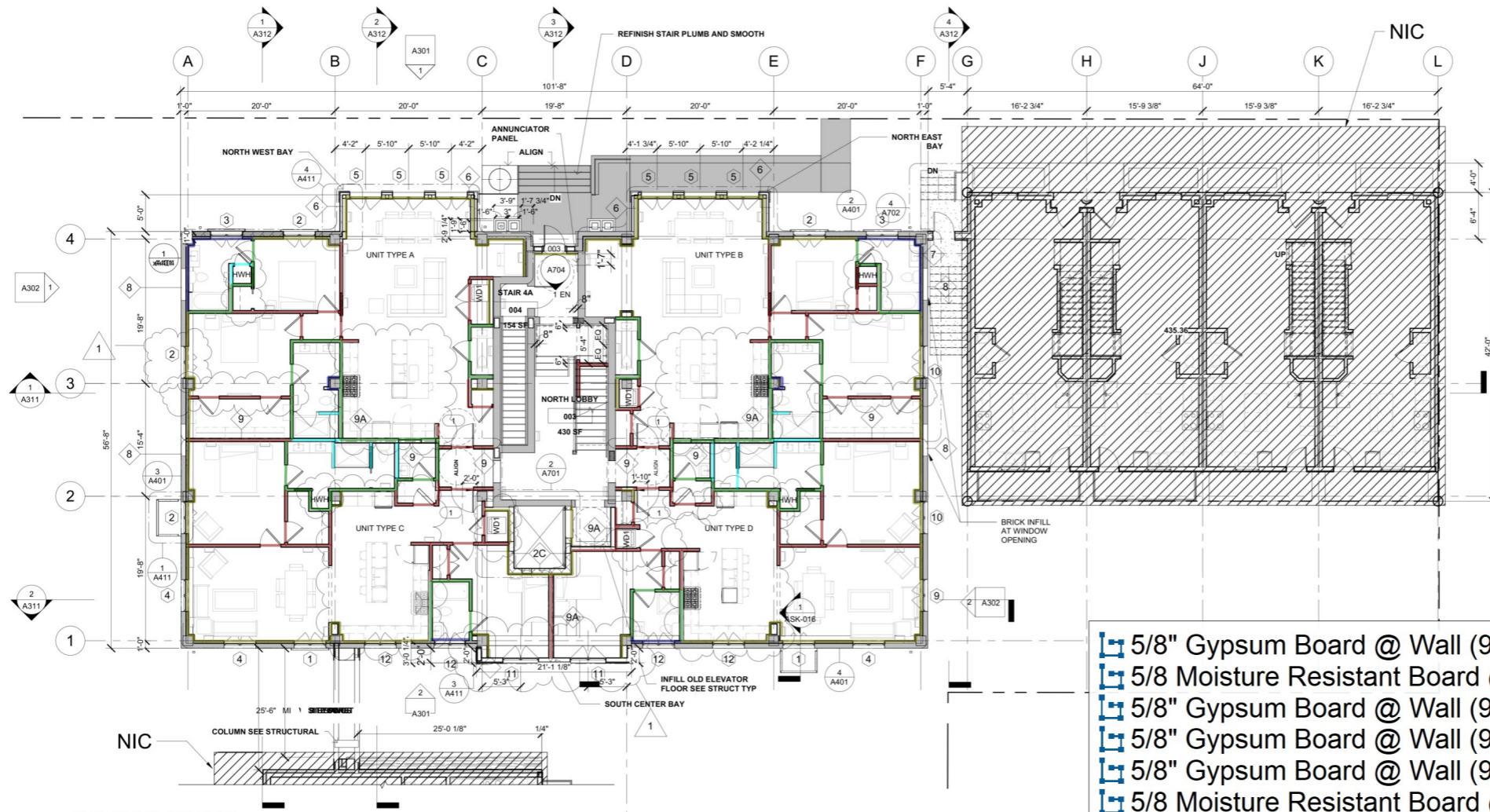
PROJECT:
22 WEST JEFFERSON, ROCKVILLE, MD
20850
22 West Jefferson, Rockville, MD 20850

Drawn By	Author
Checked By	Checker
Scale	1/8" = 1'-0"
Project #	100-2101

SHEET TITLE
BASEMENT & FIRST FLOOR PLANS

SHEET
A201



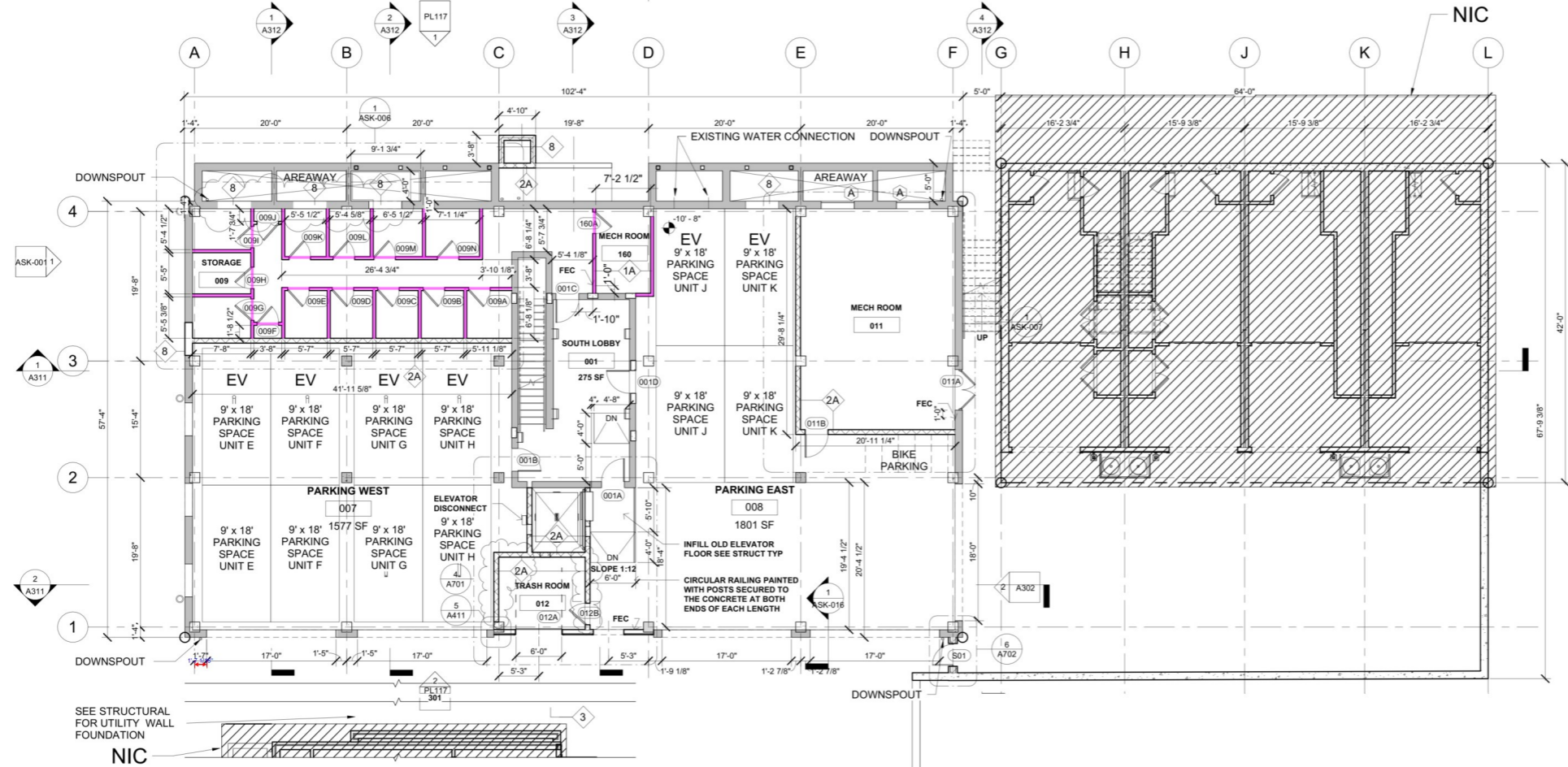


1 1ST FLOOR PLAN - RENOVATION
SCALE: 1/8" = 1'-0"

GENERAL PLAN NOTES:

1. SEE A401, A402, A403 FOR DIMENSIONS FOR ALL UNITS
2. MATCH NEW FURRING WITH ANY ADJACENT WINDOW SILLS

5/8" Gypsum Board @ Wall (9'-8" H) Each Side	181.8 FT
5/8" Moisture Resistant Board @ Wall (9'-8" H) Each Side	51.5 FT
5/8" Gypsum Board @ Wall (9'-8" H) Each Side	377.8 FT
5/8" Gypsum Board @ Wall (9'-8" H) 1 S, 1 S Grn Bd	279.7 FT
5/8" Gypsum Board @ Wall (9'-8" H) One Side Only	349.3 FT
5/8" Moisture Resistant Board @ Wall (9'-8" H) One Side	58.5 FT



2 BASEMENT FLOOR PLAN - RENOVATION
SCALE: 1/8" = 1'-0"



(T) 301-652-6263
(F) 301-652-6263

ISSUED	Date	Description
2/29/23	PERMIT SET	
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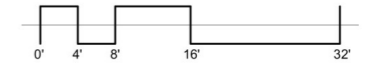
OWNER:
22 West Jefferson LLC
7508 Wisconsin Ave, Bethesda, MD 20814

PROJECT:
22 WEST JEFFERSON, ROCKVILLE, MD 20850
22 West Jefferson, Rockville, MD 20850

Drawn By	Author
Checked By	Checker
Scale	1/8" = 1'-0"
Project #	100-2101

SHEET TITLE
BASEMENT & FIRST FLOOR PLANS

SHEET
A201





(T) 301-652-6263
(F) 301-652-6263



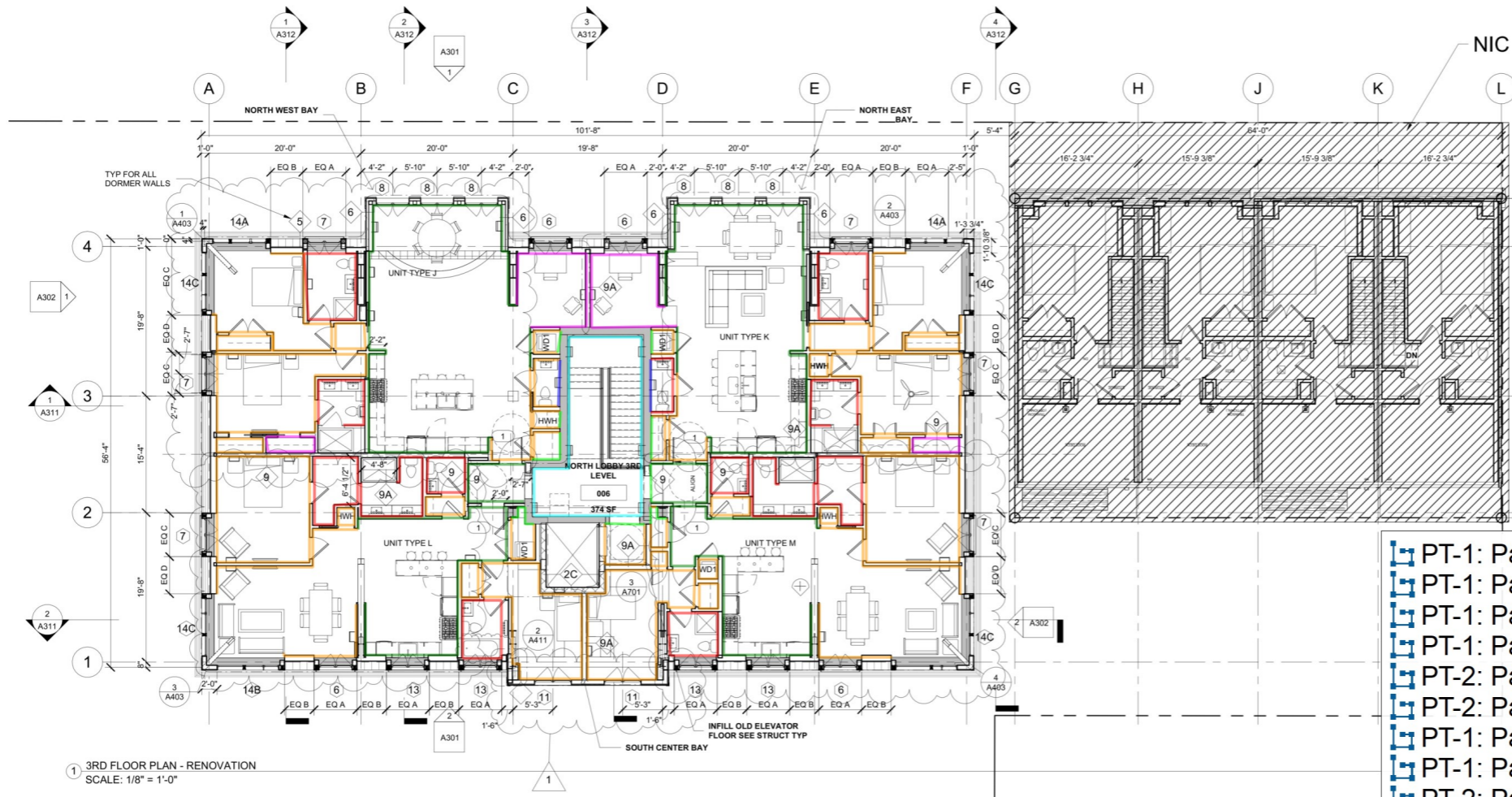
PROFESSIONAL CERTIFICATION NUMBER 10192
I have performed the duties of an Architect under the supervision of the State of Maryland Board of Architects and have been duly licensed.

ISSUED	Date	Description
2/29/23	PERMIT SET	
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GENERAL PLAN NOTES:

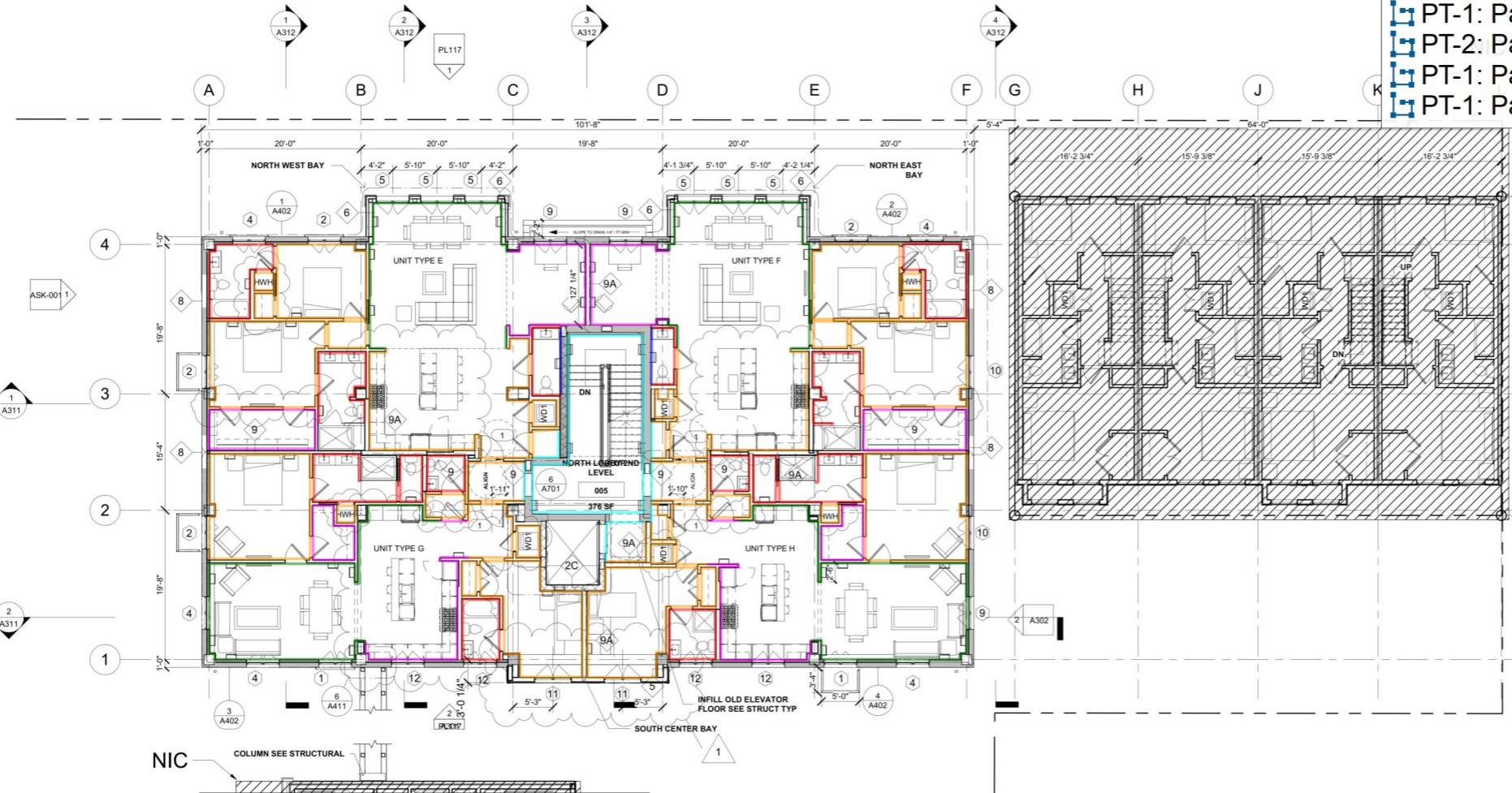
- SEE A401, A402, A403 FOR DIMENSIONS FOR ALL UNITS
- MATCH NEW FURRING WITH ANY ADJACENT WINDOW SILLS

LEGEND	
[Hatched Box]	RAISED FLOOR. SEE STRUCTURAL.



1 3RD FLOOR PLAN - RENOVATION
SCALE: 1/8" = 1'-0"

- | | |
|--|----------|
| PT-1: Paint @ GWB Wall (8'-5" H) | 861.8 FT |
| PT-1: Paint @ GWB Wall (8'-8" H) | 837.1 FT |
| PT-1: Paint @ GWB Wall (8'-0" H) | 268.3 FT |
| PT-1: Paint @ GWB Wall (8'-0" H) | 102.6 FT |
| PT-2: Paint @ Existing Wall (1'-8" H) | 13.0 FT |
| PT-2: Paint @ GWB Wall (1'-8" H) | 314.3 FT |
| PT-1: Paint @ GWB Wall (9'-8" H) | 261.2 FT |
| PT-1: Paint @ GWB Wall (9'-0" H) | 358.5 FT |
| PT-2: Paint @ GWB Wall (1'-5" H) | 346.3 FT |
| PT-1: Paint @ Existing Wall (10'-4" H) | 75.3 FT |
| PT-2: Paint @ Existing Wall (1'-5" H) | 16.4 FT |
| PT-1: Paint @ Existing Wall (8'-6" H) | 110.3 FT |
| PT-1: Paint @ Existing Wall (8'-8" H) | 43.1 FT |



2 2ND FLOOR PLAN - RENOVATION
SCALE: 1/8" = 1'-0"

OWNER:
22 West Jefferson LLC
7508 Wisconsin Ave, Bethesda, MD 20814

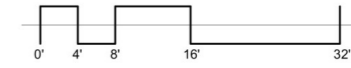
PROJECT:
22 WEST JEFFERSON, Rockville, MD 20850
22 West Jefferson, Rockville, MD 20850

Drawn By: Author
Checked By: Checker

Scale: 1/8" = 1'-0"
Project #: 100-2101

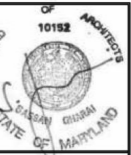
SHEET TITLE
SECOND & THIRD FLOOR PLANS

SHEET
A202





(T) 301-652-6263
(F) 301-652-6263



ISSUED

Date Description

2/29/23 PERMIT SET

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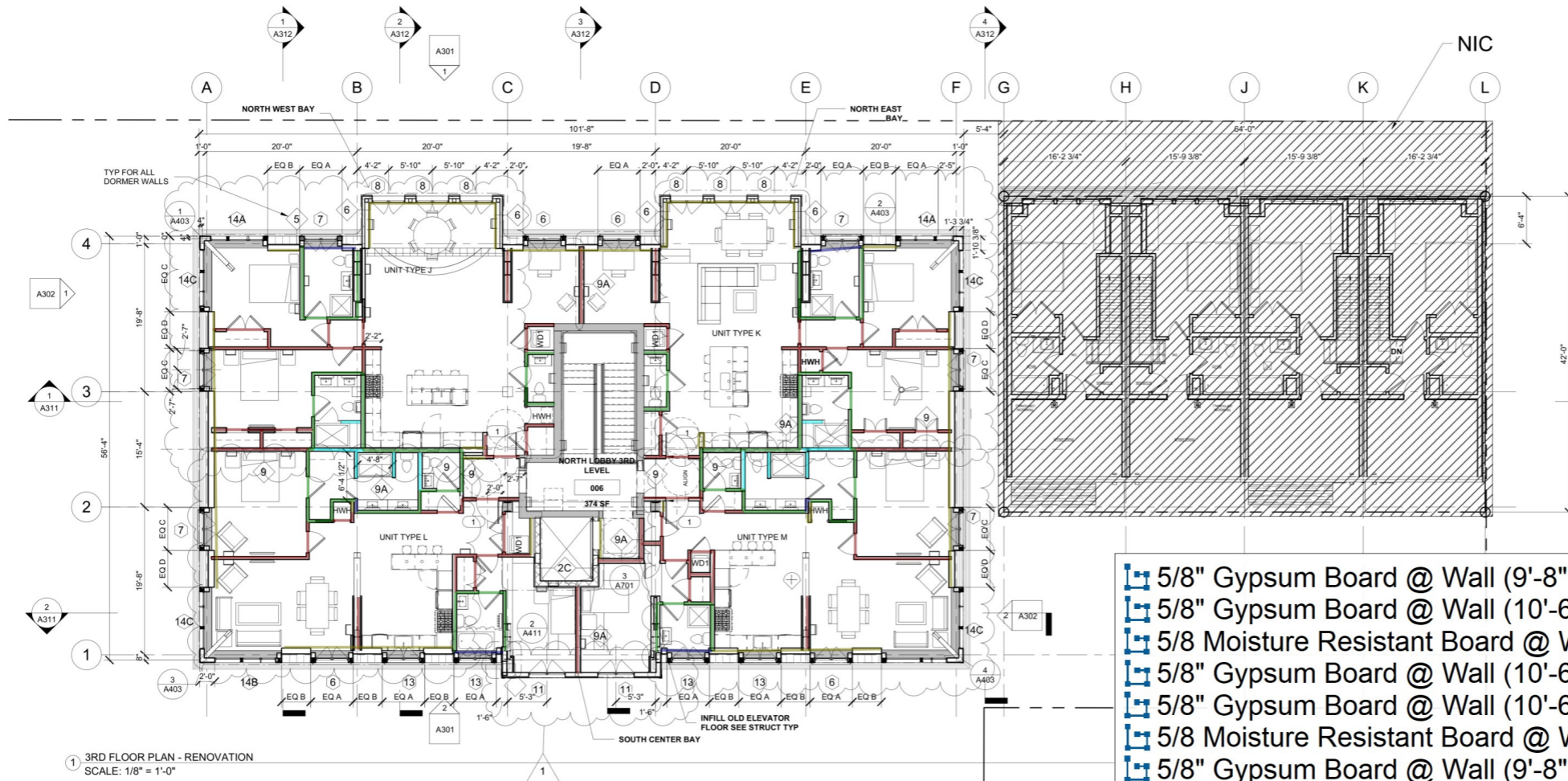
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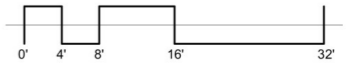
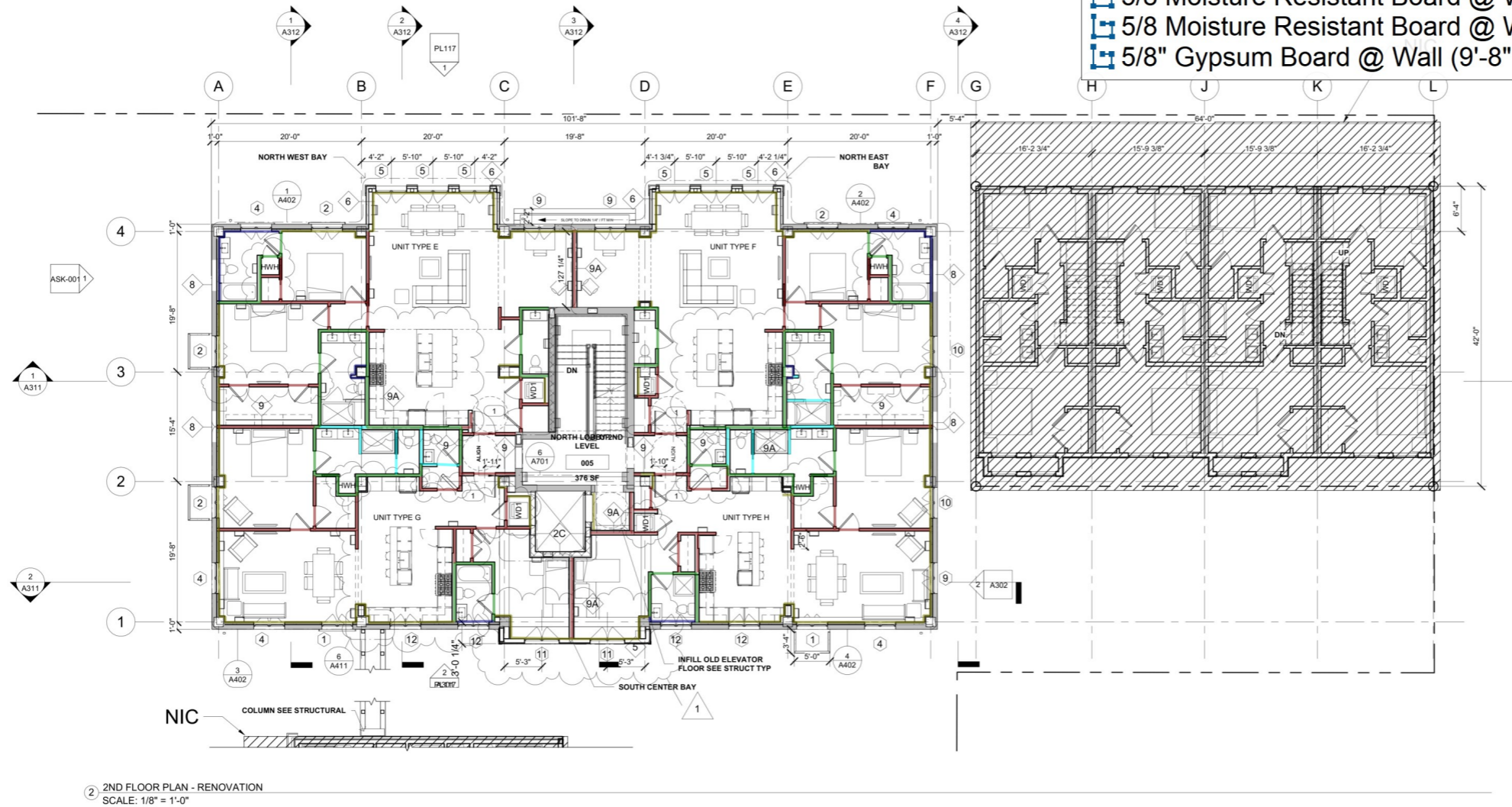
GENERAL PLAN NOTES:

- 1. SEE A401, A402, A403 FOR DIMENSIONS FOR ALL UNITS
- 2. MATCH NEW FURRING WITH ANY ADJACENT WINDOW SILLS

LEGEND	
	RAISED FLOOR. SEE STRUCTURAL.



5/8" Gypsum Board @ Wall (9'-8" H) Each Side	389.9 FT
5/8" Gypsum Board @ Wall (10'-6" H) Each Side	378.4 FT
5/8" Moisture Resistant Board @ Wall (10'-6" H) Each Side	42.4 FT
5/8" Gypsum Board @ Wall (10'-6" H) 1 S, 1 S Grn Bd	286.5 FT
5/8" Gypsum Board @ Wall (10'-6" H) One Side Only	232.8 FT
5/8" Moisture Resistant Board @ Wall (10'-6" H) One Side	30.9 FT
5/8" Gypsum Board @ Wall (9'-8" H) 1 S, 1 S Grn Bd	279.6 FT
5/8" Moisture Resistant Board @ Wall (9'-8" H) Each Side	55.8 FT
5/8" Moisture Resistant Board @ Wall (9'-8" H) One Side	58.4 FT
5/8" Gypsum Board @ Wall (9'-8" H) One Side Only	344.2 FT



OWNER:
22 West Jefferson LLC
7508 Wisconsin Ave, Bethesda, MD 20814

PROJECT:
22 WEST JEFFERSON, Rockville, MD
20850
22 West Jefferson, Rockville, MD 20850

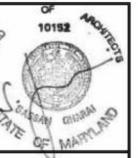
Drawn By: _____ Author: _____
Checked By: _____ Checker: _____
Scale: 1/8" = 1'-0"
Project #: 100-2101

SHEET TITLE
SECOND & THIRD FLOOR PLANS

SHEET
A202



(T) 301-652-6263
(F) 301-652-6263



PROFESSIONAL CERTIFICATION NUMBER: 10152
DATE OF EXPIRATION: 12/31/2023

ISSUED	Date	Description
2/28/23	PERMIT SET	
8/20/23	Core & Shell CD Set	

PROJECT: 22 West Jefferson LLC

7508 Wisconsin Ave, Bethesda, MD 20814

OWNER: 22 West Jefferson LLC

PROJECT: 22 WEST JEFFERSON, Rockville, MD 20850

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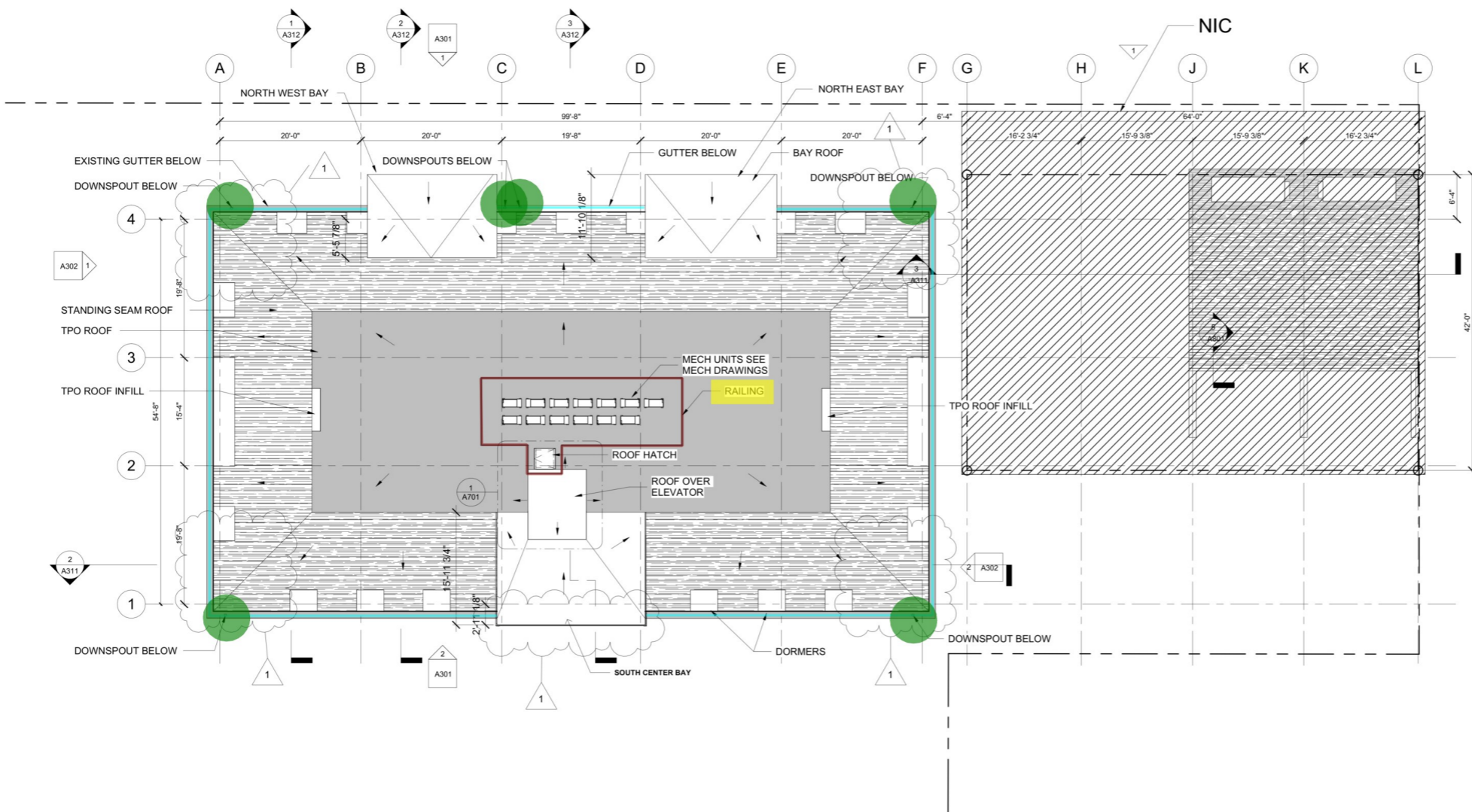
PROJECT: 22 WEST JEFFERSON, Rockville, MD 20850

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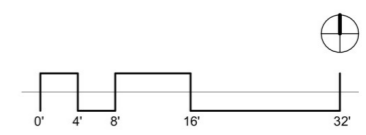
GENERAL ROOF PLAN NOTES:

1. COORDINATE ROOFTOP UNITS WITH MEP DRAWINGS
2. ROOF HATCH TO BE WEATHERSTRIPPED AND INSULATED TO A LEVEL EQUIVALENT TO THE ADJACENT SURFACES.
3. ROOFING BETWEEN NEW AN EXISTING ROOF IS TO BE CONTINUOUS.



1 ROOF PLAN - RENOVATION
SCALE: 1/8" = 1'-0"

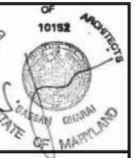
	PT-1: Paint @ Gutter & Fascia	262.1 FT	
	42" Metal Guard Rail @ Roof	84.3 FT	
	4" Dia Downspout (24'-0" H)	6.0 EA	



SHEET
A203



(T) 301-652-6263
(F) 301-652-6263



PROFESSIONAL CERTIFICATION UNDER CHAPTER 10-101 OF THE PROFESSIONAL ENGINEERING AND SURVEYING ACT OF 1991, AS AMENDED, IS HEREBY CERTIFIED TO BE VALID FOR THE STATE OF MARYLAND.

ISSUED
Date Description
2/28/23 PERMIT SET
4/7/2023 F1 Out CD Set

OWNER:
22 West Jefferson LLC

PROJECT:
22 WEST JEFFERSON, Rockville, MD
20850

PROJECT:
22 WEST JEFFERSON, Rockville, MD
20850

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22 WEST JEFFERSON, Rockville, MD
20850

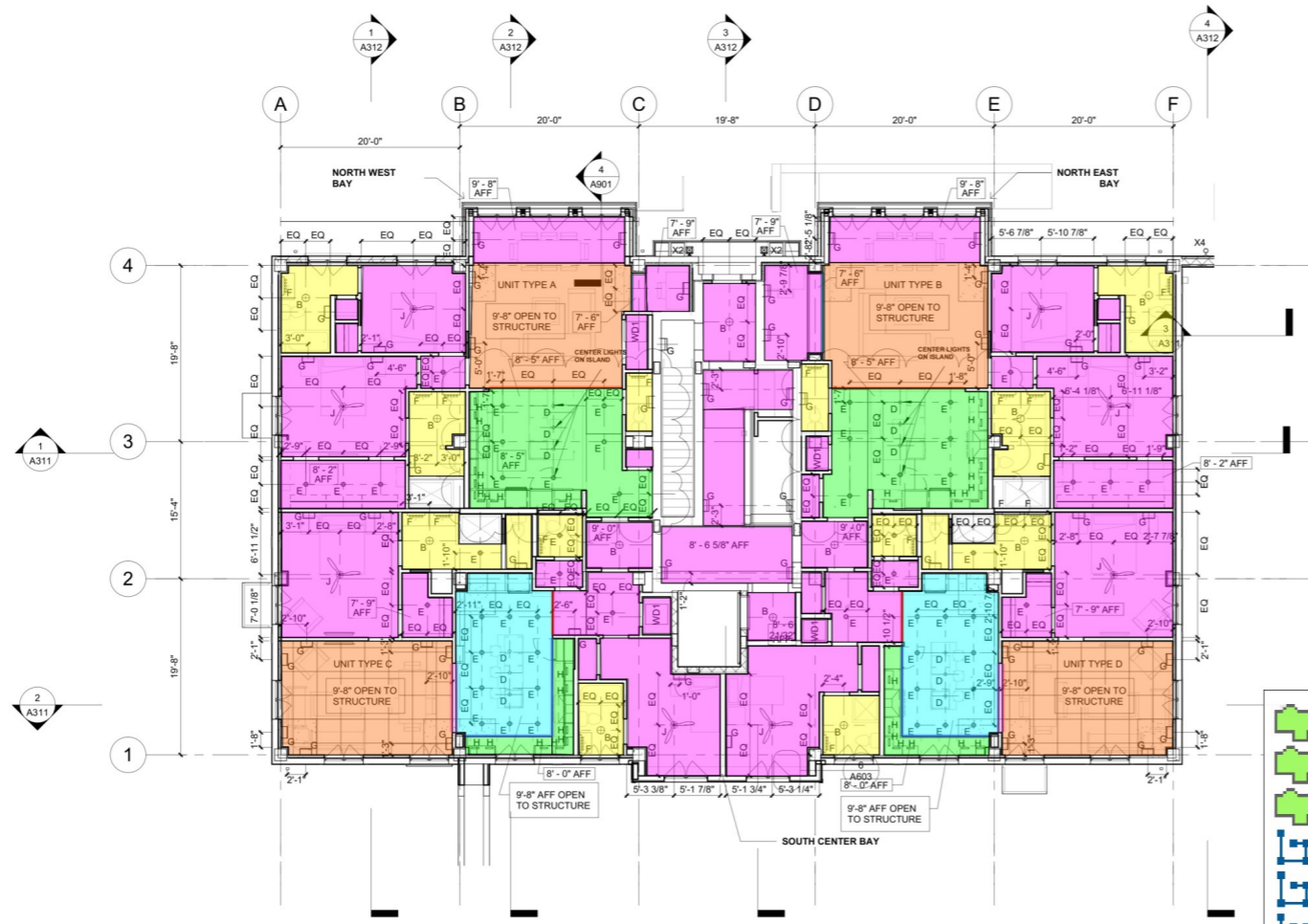
PROJECT:
22 WEST JEFFERSON, Rockville, MD
20850

GENERAL REFLECTED CEILING PLAN NOTES:

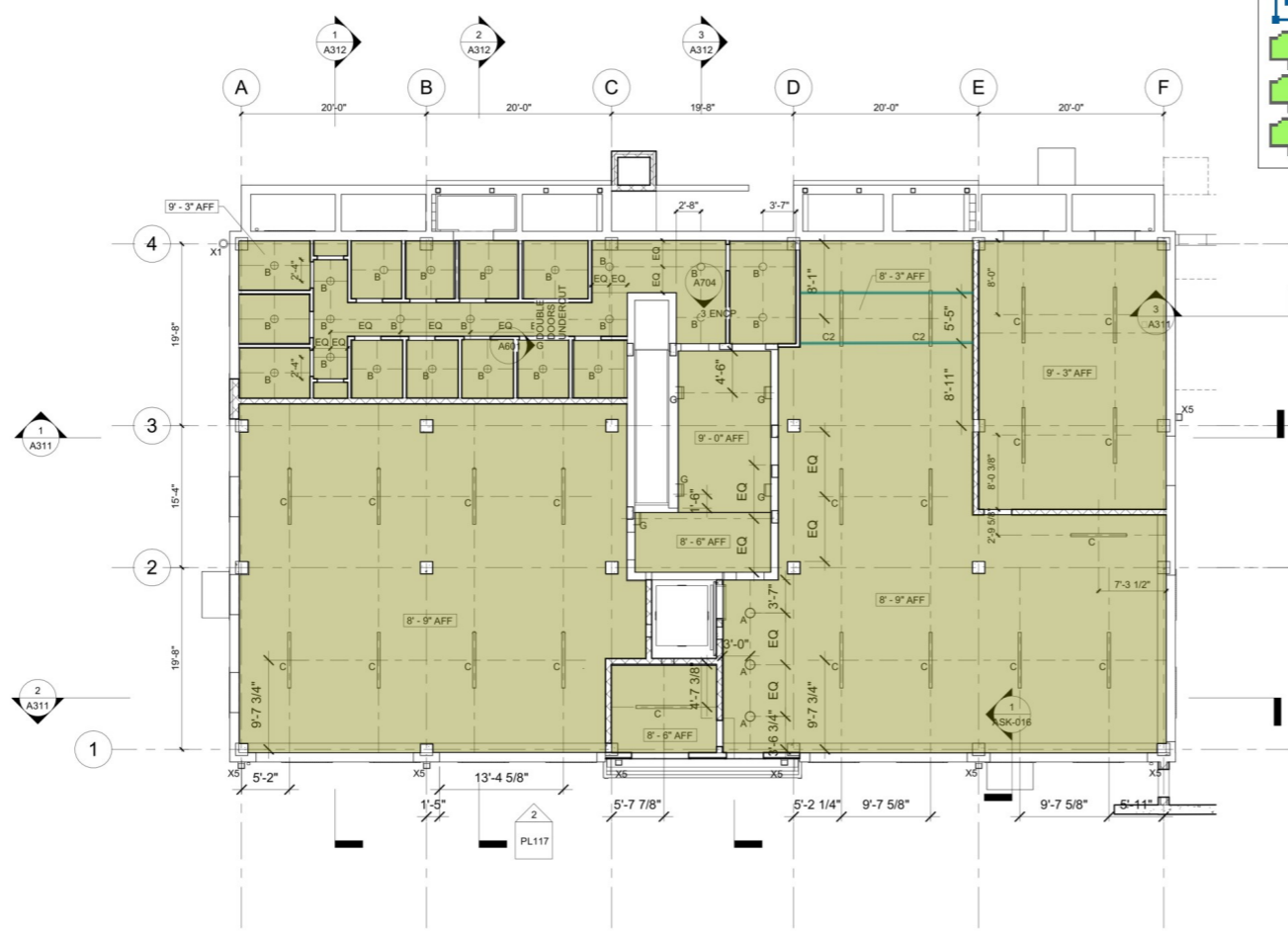
1. CEILINGS ON THE FIRST & SECOND FLOORS ARE GWB MOUNTED AT 8'-5" AFF UNO.
2. CEILINGS ON THE THIRD FLOOR ARE GWB MOUNTED AT 8'-8" AFF UNO.
3. CEILINGS ON THE BASEMENT FLOOR ARE GWB MOUNTED AT 9'-2" AFF UNO.
4. FACES OF SOFFITS ABOVE THE CABINETS TO BE FLUSH WITH THE CABINETS BELOW.
5. CEILINGS TO BE PAINTED PT-1 UNO.
6. IN GWB CEILING CONSTRUCTION, USE THE SHALLOWEST BETWEEN EITHER 7/8" HAT CHANNEL OR 2" STUD WITH 5/8" GWB.

LIGHTING FIXTURE SCHEDULE			
Symbol	Type Mark	Light Fixture	Model
○	A	Downlight - Round - LED	
○	B	Ceiling Light - Flat Round	
—	C	Lighting_Pendants_LumenWerx_Via4-Pendant-Direct	Via4 Pendant Direct
—	C2	Lighting_Pendants_LumenWerx_Via4-Pendant-Direct	Via4 Pendant Direct
○	D	Pendant Lamp - Art Glass - LED	
○	E	Recessed Lamp - Round - LED	
—	F	Sconce Lamp - Cosmetic - LED	
—	G	Sconce Light - box	
—	H	Downlight - Under Cabinet	
○	J	LUCEPLAN_BLOW_D28_EU	D28+D28/1
○	X1	Bollard Light	
○	X2	Exterior_Coach_Light_14804	
○	X3	Street Light - Standard	
○	X4	Tolddod 155 Wall	
○	X5	Simes_Cool_Square_Wall mounted	COOL WALL

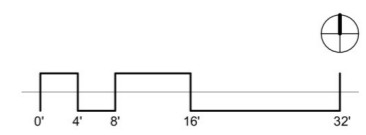
■	5/8" Gypsum Board @ Ceiling	5107.4 SQ FT
■	5/8" Gypsum Board @ Ceiling	2326.5 SQ FT
■	5/8" Moisture Resistant Board @ Ceiling	547.1 SQ FT
■	5/8" Gypsum Board @ Ceiling Soffit (2'-5" H)	13.0 FT
■	5/8" Gypsum Board @ Ceiling Soffit (1'-8" H)	40.3 FT
■	5/8" Gypsum Board @ Ceiling Soffit (1'-3" H)	40.3 FT
■	5/8" Gypsum Board @ Ceiling Soffit (2'-8" H)	30.9 FT
■	5/8" Gypsum Board @ Ceiling Soffit (0'-6" H)	37.3 FT
■	5/8" Gypsum Board @ Ceiling (PT-4)	583.2 SQ FT
■	PT-1: Paint @ Exposed Ceiling	977.1 SQ FT
■	PT-4: Paint @ Exposed Ceiling	376.2 SQ FT



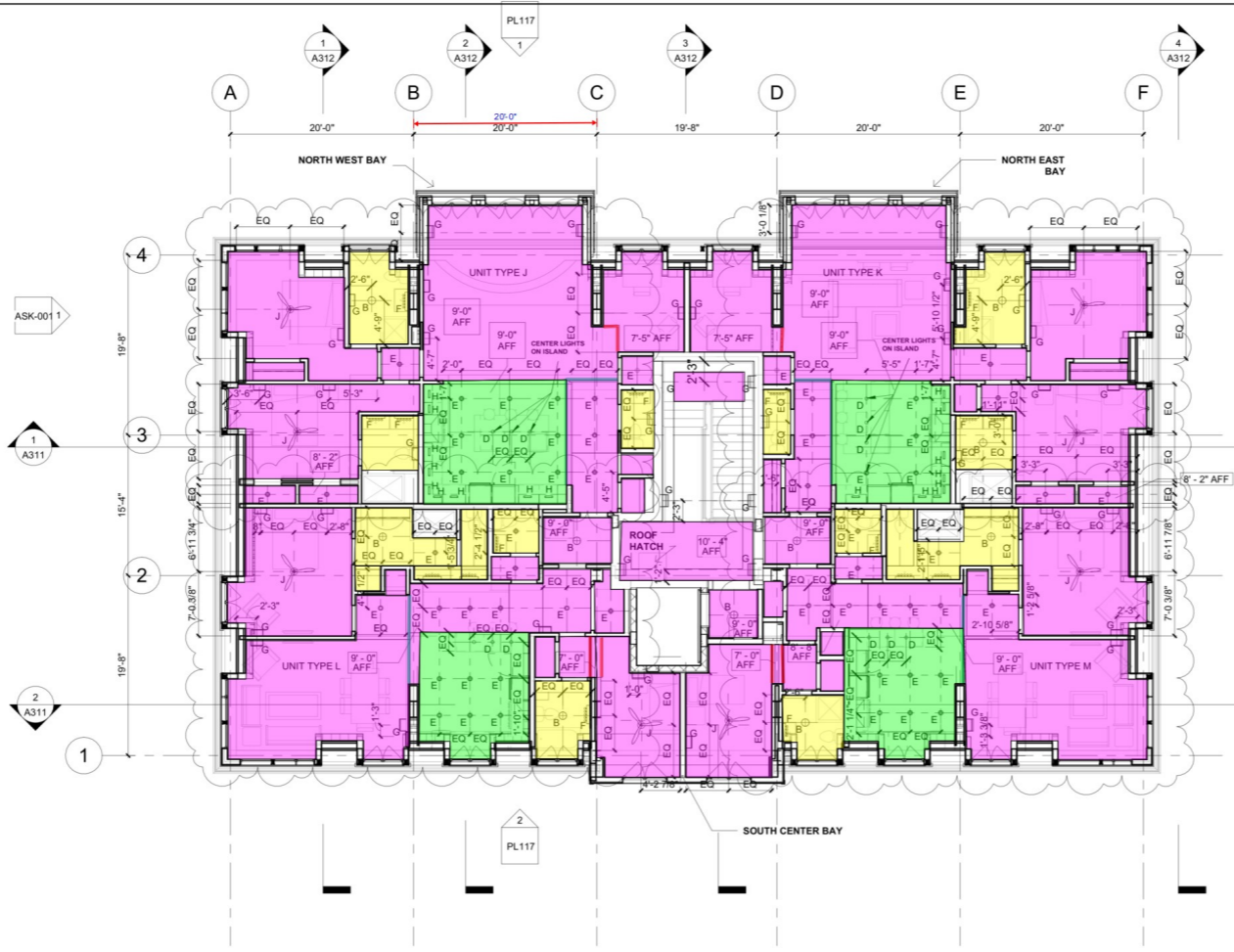
1 1ST FLOOR RCP
SCALE: 1/8" = 1'-0"



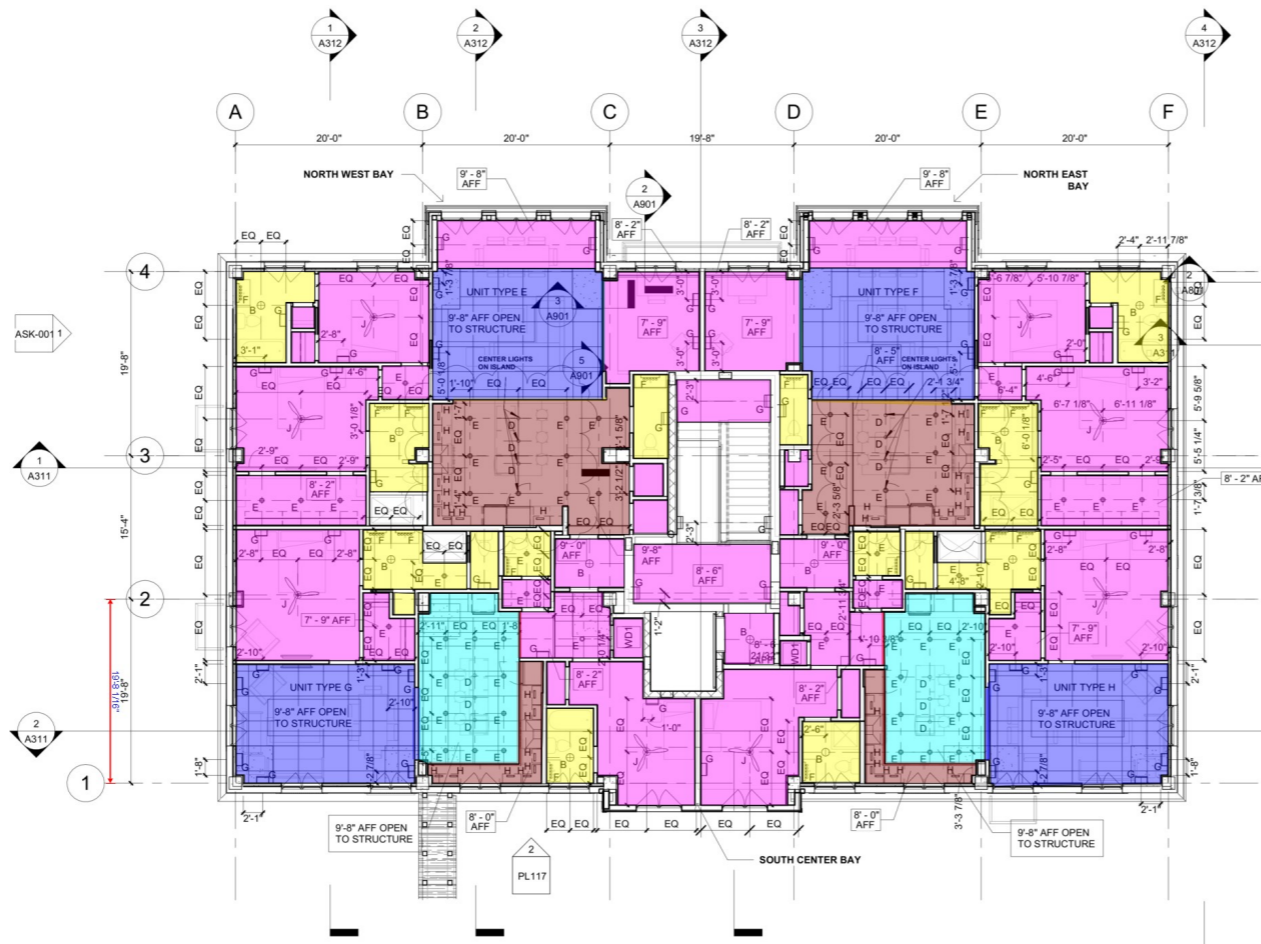
2 BASEMENT RCP
SCALE: 1/8" = 1'-0"



SHEET TITLE
BASEMENT & FIRST FLOOR
REFLECTED CEILING PLANS
SHEET
A220



1 3RD FLOOR RCP
SCALE: 1/8" = 1'-0"



2 2ND FLOOR RCP
SCALE: 1/8" = 1'-0"

GENERAL REFLECTED CEILING PLAN NOTES:

1. CEILINGS ON THE FIRST & SECOND FLOORS ARE GWB MOUNTED AT 8'-5" AFF UNO.
2. CEILINGS ON THE THIRD FLOOR ARE GWB MOUNTED AT 8'-8" AFF UNO.
3. CEILINGS ON THE BASEMENT FLOOR ARE GWB MOUNTED AT 9'-2" AFF UNO.
4. FACES OF SOFFITS ABOVE THE CABINETS TO BE FLUSH WITH THE CABINETS BELOW.
5. CEILINGS TO BE PAINTED P-1 UNO.
6. IN GWB CEILING CONSTRUCTION, USE THE SHALLOWEST BETWEEN EITHER 7/8" HAT CHANNEL OR 2" STUD WITH 5/8" GWB.

LIGHTING FIXTURE SCHEDULE

Symbol	Type Mark	Light Fixture	Model
○	A	Downlight - Round - LED	
○	B	Ceiling Light - Flat Round	
—	C	Lighting_Pendants_LumenWerx_Via4-Pendant-Direct	Via4 Pendant Direct
—	C2	Lighting_Pendants_LumenWerx_Via4-Pendant-Direct	Via4 Pendant Direct
○	D	Pendant Lamp - Art Glass - LED	
○	E	Recessed Lamp - Round - LED	
—	F	Sconce Lamp - Cosmetic - LED	
—	G	Sconce Light - box	
—	H	Downlight - Under Cabinet	
○	J	LUCEPLAN_BLOW_D28_EU	D28+D28/1

■	5/8" Gypsum Board @ Ceiling	2339.6 SQ FT
■	5/8" Gypsum Board @ Ceiling	3462.9 SQ FT
■	5/8" Moisture Resistant Board @ Ceiling	558.6 SQ FT
■	5/8" Gypsum Board @ Ceiling Soffit (0'-6" H)	51.9 FT
■	5/8" Moisture Resistant Board @ Ceiling	591.4 SQ FT
■	5/8" Gypsum Board @ Ceiling Soffit (1'-6" H)	24.2 FT
■	5/8" Gypsum Board @ Ceiling Soffit (2'-0" H)	18.5 FT
■	5/8" Gypsum Board @ Ceiling Soffit (1'-8" H)	51.0 FT
■	5/8" Gypsum Board @ Ceiling Soffit (1'-3" H)	31.3 FT
■	5/8" Gypsum Board @ Ceiling Soffit (2'-8" H)	31.2 FT
■	5/8" Gypsum Board @ Ceiling (PT-4)	623.3 SQ FT
■	5/8" Gypsum Board @ Ceiling (PT-4)	698.3 SQ FT
■	PT-1: Paint @ Exposed Ceiling	995.1 SQ FT
■	PT-4: Paint @ Exposed Ceiling	374.5 SQ FT



(T) 301-652-6263
(F) 301-652-6263



ISSUED

Date	Description
2/28/23	PERMIT SET
4/7/2023	PL Out CD Set

Date	Description

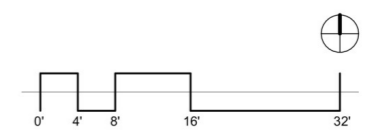
22 West Jefferson LLC
7508 Wisconsin Ave, Bethesda, MD 20814

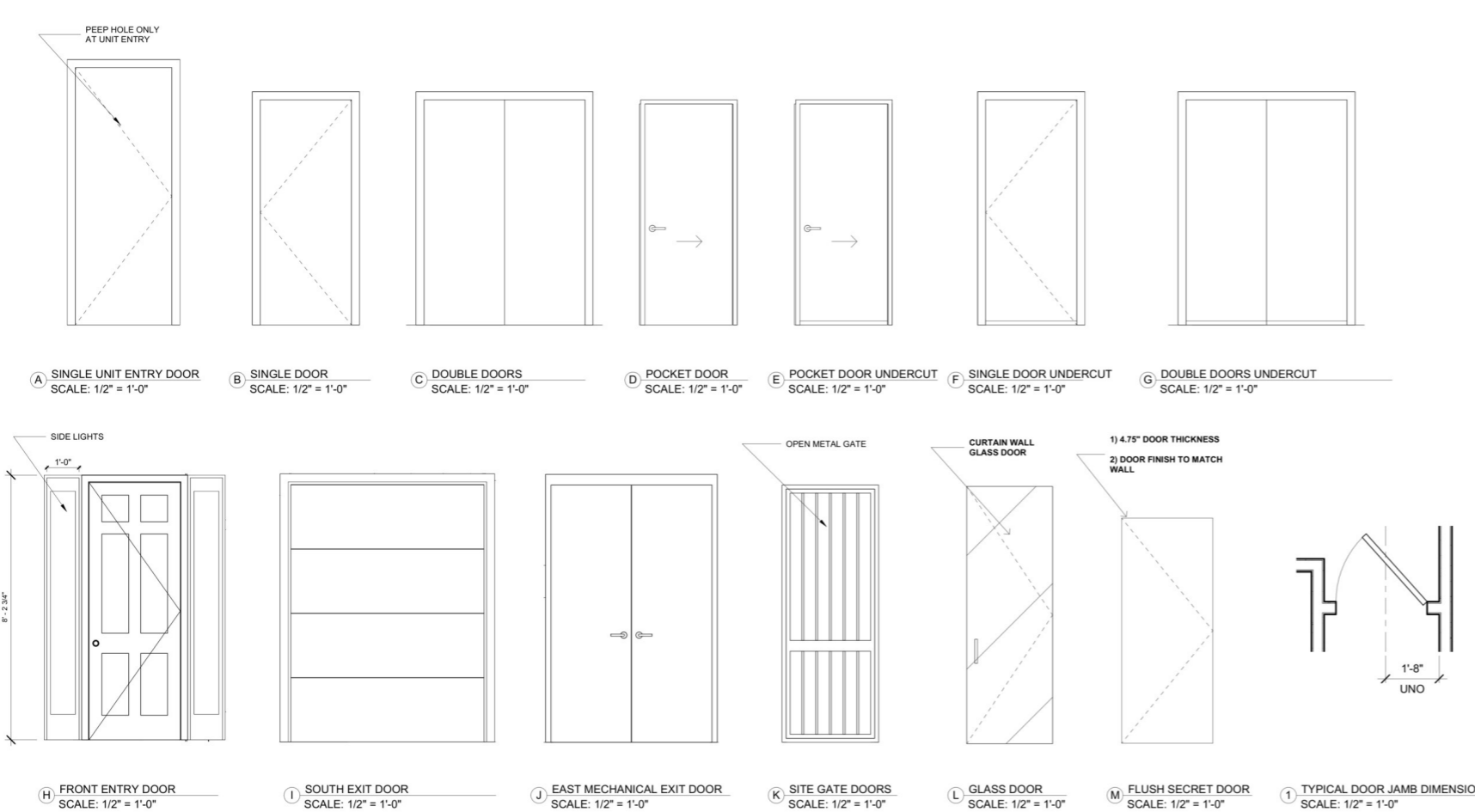
PROJECT:
22 WEST JEFFERSON, ROCKVILLE, MD
20850

Drawn By: Author
Checked By: Checker
Scale: 1/8" = 1'-0"
Project #: 100-2101

SHEET TITLE
SECOND & THIRD FLOOR
REFLECTED CEILING PLANS

SHEET
A221





- 3'-0" x 8'-0" Single Leaf Wood Door **6.0 EA**
- 2'-10" x 8'-0" Single Leaf Wood Door **3.0 EA**
- 2'-10" x 7'-0" Single Leaf Wood Door **14.0 EA**
- 5'-0" x 8'-0" Double Leaf Wood Door **1.0 EA**
- 6'-0" x 8'-0" Double Leaf Wood Door **1.0 EA**
- 3'-0" x 8'-0" Single Leaf Wood Door **4.0 EA**
- 3'-0" x 8'-0" Single Leaf Wood Door **4.0 EA**
- 3'-0" x 8'-0" Single Leaf Wood Door **4.0 EA**
- 2'-8" x 7'-0" Single Leaf Wood Door **4.0 EA**
- 2'-8" x 7'-0" Single Leaf Wood Door **4.0 EA**
- 2'-8" x 7'-0" Single Leaf Wood Door **6.0 EA**
- 2'-10" x 7'-0" Single Leaf Wood Door **33.0 EA**
- 2'-10" x 7'-0" Single Leaf Wood Door **32.0 EA**
- 2'-10" x 7'-0" Single Leaf Wood Door **26.0 EA**
- 5'-0" x 7'-0" Double Leaf Wood Door **1.0 EA**
- 5'-0" x 7'-0" Double Leaf Wood Door **1.0 EA**
- 5'-0" x 7'-0" Double Leaf Wood Door **3.0 EA**
- 3'-0" x 7'-0" Single Leaf Wood Door **2.0 EA**
- 3'-0" x 7'-0" Single Leaf Wood Door **2.0 EA**
- 2'-0" x 7'-0" Single Leaf Wood Door **2.0 EA**
- 2'-0" x 7'-0" Single Leaf Wood Door **2.0 EA**
- 2'-4" x 7'-0" Single Leaf Wood Door **3.0 EA**
- 2'-6" x 7'-0" Single Leaf Wood Door **2.0 EA**
- 2'-4" x 7'-0" Single Leaf Wood Door **2.0 EA**
- 3'-6" x 7'-0" Single Leaf Wood Door **1.0 EA**
- 2'-6" x 7'-0" Single Leaf Wood Door **2.0 EA**
- 2'-4" x 7'-0" Single Leaf Wood Door **2.0 EA**
- 3'-6" x 7'-0" Single Leaf Wood Door **2.0 EA**
- 3'-6" x 7'-0" Single Leaf Wood Door **1.0 EA**
- 2'-6" x 7'-0" Single Leaf Wood Door **2.0 EA**
- 2'-4" x 7'-0" Single Leaf Wood Door **2.0 EA**
- 2'-0" x 7'-0" Single Leaf Wood Door **1.0 EA**



ISSUED	Date	Description
2/8/23	PERMIT SET	
8/20/23	Core & Shell CD Set	

Unit 201 Door Schedule

Mark	LOCATION	Door Type	Height	Width	SWING	BORE	hardware type	UNIT NUMBER
1	ENTRY	DOUBLE	7'-0"	3'-0"	RH	DOUBLE PRIVACY	301	201
2	COAT CLOSET	SINGLE	7'-0"	2'-8"	RHR	SINGLE PASSAGE	201	201
3	POWDER ROOM	SINGLE	7'-0"	2'-10"	RHR	SINGLE PASSAGE	301	201
4	WASHER/DRYER	ZERO	7'-0"	5'-0"	LHR	ZERO DUMMY	201	201
5	BEDROOM HALL	SINGLE	7'-0"	3'-0"	POCKET - NO LOCK	SINGLE PASSAGE	201	201
6	MASTER BEDROOM	SINGLE	7'-0"	2'-10"	RH	SINGLE PRIVACY	201	201
7	MASTER BATHROOM	SINGLE	7'-0"	2'-10"	RH	SINGLE PRIVACY	201	201
8	MASTER CLOSET	SINGLE	7'-0"	2'-10"	LH	SINGLE POCKET	201	201
9	MASTER CLOSET	SINGLE	7'-0"	2'-10"	RH	SINGLE POCKET	201	201
10	SECONDARY BEDROOM	SINGLE	7'-0"	2'-10"	RH	SINGLE PRIVACY	201	201
11	SECONDARY BEDROOM CLOSET	SINGLE	7'-0"	2'-10"	POCKET - NO LOCK	SINGLE POCKET	201	201
12	SECONDARY BATHROOM	SINGLE	7'-0"	2'-10"	LH	SINGLE PRIVACY	201	201
13	HWH CLOSET	SINGLE	7'-0"	2'-0"	LHR	SINGLE PASSAGE	201	201

Unit 202 Door Schedule

Mark	LOCATION	Door Type	Height	Width	SWING	BORE	hardware type	UNIT NUMBER
1	ENTRY	DOUBLE	7'-0"	3'-0"	LH	DOUBLE PRIVACY	202	202
2	WASHER/DRYER	ZERO	7'-0"	2'-6"	LHR	ZERO DUMMY	202	202
3	HALL CLOSET	ZERO	7'-0"	2'-10"	RH	ZERO HIDDEN	202	202
4	POWDER ROOM	SINGLE	7'-0"	2'-10"	RHR	SINGLE PRIVACY	202	202
5	MASTER BEDROOM	SINGLE	7'-0"	2'-10"	RH	SINGLE PRIVACY	202	202
6	MASTER CLOSET	SINGLE	7'-0"	2'-10"	RH	SINGLE PASSAGE	202	202
7	MASTER BATHROOM	SINGLE	7'-0"	2'-10"	RH	SINGLE PRIVACY	202	202
8	HWH CLOSET	SINGLE	7'-0"	2'-4"	POCKET - RH	SINGLE POCKET	202	202
9	MASTER BATHROOM TOILET	SINGLE	7'-0"	2'-10"	POCKET - RH	SINGLE POCKET	202	202
10	SECONDARY BEDROOM	SINGLE	7'-0"	2'-10"	RH	SINGLE PRIVACY	202	202
11	SECONDARY BEDROOM CLOSET	ZERO	7'-0"	3'-6"	LHR	ZERO DUMMY	202	202
12	SECONDARY BATHROOM	SINGLE	7'-0"	2'-10"	LHR	SINGLE PRIVACY	202	202

Unit 203 Door Schedule

Mark	LOCATION	Door Type	Height	Width	SWING	BORE	hardware type	UNIT NUMBER
1	ENTRY	DOUBLE	7'-0"	3'-0"	LH	DOUBLE PRIVACY	303	203
2	COAT CLOSET	SINGLE	7'-0"	2'-8"	RHR	SINGLE PASSAGE	303	203
3	WASHER/DRYER	ZERO	7'-0"	2'-8"	LHR	ZERO DUMMY	203	203
4	POWDER ROOM	SINGLE	7'-0"	2'-10"	RHR	SINGLE PRIVACY	203	203
5	BEDROOM HALL	SINGLE	7'-0"	3'-0"	POCKET - NO LOCK	SINGLE PASSAGE	203	203
6	MASTER BEDROOM	SINGLE	7'-0"	2'-10"	LH	SINGLE PRIVACY	203	203
7	MASTER BATHROOM	SINGLE	7'-0"	2'-10"	LH	SINGLE PRIVACY	203	203
8	MASTER CLOSET	SINGLE	7'-0"	2'-10"	RH	SINGLE POCKET	203	203
9	MASTER CLOSET	SINGLE	7'-0"	2'-10"	LH	SINGLE POCKET	203	203
10	SECONDARY BEDROOM	SINGLE	7'-0"	2'-10"	LH	SINGLE PRIVACY	203	203
11	SECONDARY BEDROOM CLOSET	SINGLE	7'-0"	2'-10"	POCKET - NO LOCK	SINGLE POCKET	203	203
12	SECONDARY BATHROOM	SINGLE	7'-0"	2'-10"	RH	SINGLE PRIVACY	203	203
13	HWH CLOSET	SINGLE	7'-0"	2'-0"	LHR	SINGLE PASSAGE	203	203

Unit 204 Door Schedule

Mark	LOCATION	Door Type	Height	Width	SWING	BORE	hardware type	UNIT NUMBER
1	ENTRY	DOUBLE	7'-0"	3'-0"	RH	DOUBLE PRIVACY	304	204
2	COAT CLOSET	SINGLE	7'-0"	2'-8"	RHR	SINGLE PASSAGE	304	204
3	WASHER/DRYER	ZERO	7'-0"	2'-8"	LHR	ZERO DUMMY	204	204
4	HALL CLOSET	ZERO	7'-0"	2'-10"	RH	ZERO HIDDEN	204	204
5	POWDER ROOM	SINGLE	7'-0"	2'-10"	RH	SINGLE PRIVACY	204	204
6	MASTER BEDROOM	SINGLE	7'-0"	2'-10"	RH	SINGLE PRIVACY	204	204
7	MASTER CLOSET	SINGLE	7'-0"	2'-10"	RH	SINGLE PASSAGE	204	204
8	MASTER BATHROOM	SINGLE	7'-0"	2'-10"	LH	SINGLE POCKET	204	204
9	HWH CLOSET	SINGLE	7'-0"	2'-4"	POCKET - NO LOCK	SINGLE POCKET	204	204
10	MASTER BATHROOM TOILET	SINGLE	7'-0"	2'-10"	POCKET - LH	SINGLE POCKET	204	204
11	SECONDARY BEDROOM	SINGLE	7'-0"	2'-10"	LH	SINGLE PRIVACY	204	204
12	SECONDARY BEDROOM CLOSET	SINGLE	7'-0"	2'-10"	RHR	SINGLE PASSAGE	204	204
13	SECONDARY BATHROOM	SINGLE	7'-0"	2'-10"	RH	SINGLE PRIVACY	204	204

JEFFERSON BUILDING RENOVATION COMMON AREA DOOR SCHEDULE

Mark	Location	Door Type	Count	Material	Finish	Height	Width	Thickness	Frame Material	Frame Finish	FIRE RATING	Comments	BORE	hardware type	SWING
001A	SOUTH LOBBY	B	1	WOOD	PAINTED	8'-0"	3'-0"	0'-1 3/8"	WOOD	PAINTED	60	FOB ENTRY	SINGLE	ENTRY	RH
001B	SOUTH LOBBY	B	1	WOOD	PAINTED	8'-0"	3'-0"	0'-1 3/8"	WOOD	PAINTED	60	FOB ENTRY	SINGLE	ENTRY	RH
001C	SOUTH LOBBY	B	1	WOOD	PAINTED	8'-0"	3'-0"	0'-1 3/8"	WOOD	PAINTED	60	FOB ENTRY	SINGLE	ENTRY	LHR
001D	SOUTH LOBBY	B	1	WOOD	PAINTED	8'-0"	3'-0"	0'-1 3/8"	WOOD	PAINTED	60	FOB ENTRY	SINGLE	ENTRY	RH
3	LAUNDRY	F	1	WOOD		7'-0"	2'-6"	0'-2"			0	ZERO	DUMMY	LHR	
3	LAUNDRY	F	1	WOOD		7'-0"	2'-6"	0'-2"			0	ZERO	DUMMY	LHR	
003	ENTRY	H	1	WOOD	PAINTED	8'-0"	2'-10"	0'-1 3/8"	WOOD	PAINTED	0	FOB ENTRY	SINGLE	ENTRY	RHR
004	STAIR 4A	B	1	WOOD	PAINTED	8'-0"	3'-0"	0'-1 3/8"	WOOD	PAINTED	45		SINGLE	PASSAGE	RHR
009A	STORAGE	B	1	WOOD	PAINTED	7'-0"	2'-10"	0'-2"	WOOD	PAINTED	0		SINGLE	STOREROOM	RH
009B	STORAGE	B	1	WOOD	PAINTED	7'-0"	2'-10"	0'-2"	WOOD	PAINTED	0		SINGLE	STOREROOM	RH
009C	STORAGE	B	1	WOOD	PAINTED	7'-0"	2'-10"	0'-2"	WOOD	PAINTED	0		SINGLE	STOREROOM	RH
009D	STORAGE	B	1	WOOD	PAINTED	7'-0"	2'-10"	0'-2"	WOOD	PAINTED	0		SINGLE	STOREROOM	RH
009E	STORAGE	B	1	WOOD	PAINTED	7'-0"	2'-10"	0'-2"	WOOD	PAINTED	0		SINGLE	STOREROOM	RH
009F	STORAGE	B	1	WOOD	PAINTED	7'-0"	2'-10"	0'-2"	WOOD	PAINTED	0		SINGLE	STOREROOM	RHR
009G	STORAGE	B	1	WOOD	PAINTED	7'-0"	2'-10"	0'-2"	WOOD	PAINTED	0		SINGLE	STOREROOM	LH
009H	STORAGE	B	1	WOOD	PAINTED	7'-0"	2'-10"	0'-2"	WOOD	PAINTED	0		SINGLE	STOREROOM	RH
009I	STORAGE	B	1	WOOD	PAINTED	7'-0"	2'-10"	0'-2"	WOOD	PAINTED	0		SINGLE	STOREROOM	RH
009J	STORAGE	B	1	WOOD	PAINTED	7'-0"	2'-10"	0'-2"	WOOD	PAINTED	0		SINGLE	STOREROOM	RHR
009K	STORAGE	B	1	WOOD	PAINTED	7'-0"	2'-10"	0'-2"	WOOD	PAINTED	0		SINGLE	STOREROOM	LH
009L	STORAGE	B	1	WOOD	PAINTED	7'-0"	2'-10"	0'-2"	WOOD	PAINTED	0		SINGLE	STOREROOM	LH
009M	STORAGE	B	1	WOOD	PAINTED	7'-0"	2'-10"	0'-2"	WOOD	PAINTED	0		SINGLE	STOREROOM	LH
009N	STORAGE	B	1	WOOD	PAINTED	7'-0"	2'-10"	0'-2"	WOOD	PAINTED	0		SINGLE	STOREROOM	LH
011A	MECHANICAL ROOM	J	1	WOOD	PAINTED	8'-0"	5'-0"	0'-1 3/4"	WOOD	PAINTED	0		SINGLE	STOREROOM	LHR
011B	MECHANICAL ROOM	B	1	WOOD	PAINTED	8'-0"	3'-0"	0'-1 3/8"	WOOD	PAINTED	60		SINGLE	STOREROOM	LHR
012A	TRASH ROOM	I	1	WOOD	PAINTED	8'-0"	6'-0"	0'-1 1/2"	WOOD	PAINTED	0		SINGLE	GARAGE	UP
012B	TRASH ROOM	B	1	WOOD	PAINTED	8'-0"	2'-10"	0'-2"	WOOD	PAINTED	60	FOB ENTRY	SINGLE	STOREROOM	LH
160A	MECHANICAL ROOM	B	1	WOOD	PAINTED	8'-0"	2'-10"	0'-2"	WOOD	PAINTED	60			STOREROOM	LH
N01	NORTH GATE	K	1	METAL	NA	8'-0"	3'-0"	0'-1 1/2"	METAL	NA	0	EXTERIOR GATE	SINGLE	ENTRY	RHR
S01	SOUTH GATE	K	1	METAL	NA	8'-0"	3'-0"	0'-1 1/2"	METAL	NA	0	EXTERIOR GATE	SINGLE	PASSAGE	LHR

OWNER: 22 West Jefferson LLC
7508 Wisconsin Ave, Bethesda, MD 20814

PROJECT: 22 WEST JEFFERSON, Rockville, MD 20850
20850
22 West Jefferson, Rockville, MD 20850

Drawn By: _____ **Author:** _____
Checked By: _____ **Checker:** _____
Scale: As Indicated
Project #: 100-2101

SHEET TITLE: DOOR & HARDWARE SCHEDULES
SHEET: A601

GENERAL SUMMARY

Prepared for: 22 WEST JEFFERSON RENOVATION
 ROCKVILLE, MD 20850
Project ID: 28022024
Scope: Painting & Drywall Board
No. Of Floors: 1
Date: 03/01/24



BUILDING GSF 24,260

DIVISION NO	DESCRIPTION	TOTAL DIV. COST	TOTAL DIV. COST (PER SF)
1000	General Requirements	\$ 46,700	\$ 1.92
9000	Finishes	\$ 518,743	\$ 21.38
TOTAL TRADE COST		\$ 565,443	\$ 23
OVERHEAD AND PROFIT			
	15%	\$ 84,816	\$ 3.50
	INSURANCE 3%	\$ 16,963	\$ 1
	CONTINGENCY 5%	\$ 28,272	\$ 1
	TAX 6%	\$ 11,843	\$ 1
SUGGESTED BID		\$ 707,338	\$ 30

DETAILED BREAKDOWN OF ITEMS

Prepared for: 22 WEST JEFFERSON RENOVATION ROCKVILLE, MD 20850
 Project ID: 28022024
 Scope: Painting & Drywall Board

TOTAL TRADE COST	\$565,443
OH & PROFIT	\$84,816
INSURANCE	\$16,963
CONTINGENCY	\$28,272
TAX	\$11,843
SUGGESTED BID	\$707,338



Date: 3/1/24

SR #	Drawing #	Detail #	DESCRIPTION	UNIT	QUANTITY	WASTAGE	QUANTITY W/WASTAGE	UNIT MANHOUR	HOURL Y WAGE	LABOR COST	MAT. COST	UNIT COST	SUB COST
GENERAL REQUIREMENTS													
1			Permits	LS	1	0%	1	0.00	0.00	\$ -	\$ -	\$ -	\$ -
2			Supervision and Coordination	LS	1	0%	1	0.00	0.00	\$ -	\$ -	\$ 15,000.00	\$ 15,000.00
3			Submittals and Shop drawings	LS	1	0%	1	0.00	0.00	\$ -	\$ -	\$ 3,500.00	\$ 3,500.00
4			Final Cleaning	LS	1	0%	1	0.00	0.00	\$ -	\$ -	\$ 4,000.00	\$ 4,000.00
5			Mobilization Costs	LS	1	0%	1	0.00	0.00	\$ -	\$ -	\$ 13,500.00	\$ 13,500.00
6			Temporary Control & Facilities	LS	1	0%	1	0.00	0.00	\$ -	\$ -	\$ 6,500.00	\$ 6,500.00
7			Scaffolding	LS	1	0%	1	0.00	0.00	\$ -	\$ -	\$ 4,200.00	\$ 4,200
SUBTOTAL												\$ 46,700	
FINISHES													
DRY WALL ASSEMBLIES													
BASEMENT													
			Dry Wall @ Interior Wall (9'-8" H)	LF	182								
8			1 Layer 5/8" Gypsum Board On Each Side	SF	3516	10%	3868						
9			No of Sheets (4'x8')	EA	121	0%	121	0.280	\$ 52.00	\$ 14.56	\$ 17.24	\$ 31.80	\$ 3,847.80
10			Tapping	LF	1758	10%	1934	0.008	\$ 52.00	\$ 0.42	\$ 0.08	\$ 0.50	\$ 959.23
11			Mudding	LBs	183	10%	201	0.255	\$ 52.00	\$ 13.26	\$ 2.85	\$ 16.11	\$ 3,240.19
12			Screws	EA	5808	0%	5808	0.000	\$ 52.00	\$ -	\$ 0.05	\$ 0.05	\$ 290.40
13			Acoustical Sealant	LF	728	10%	801	0.010	\$ 52.00	\$ 0.52	\$ 0.40	\$ 0.92	\$ 736.74
FIRST FLOOR													
			Dry Wall @ Interior Wall (9'-8" H)	LF	378								
14			1 Layer 5/8" Gypsum Board On Each Side	SF	7303	10%	8033						
15			No of Sheets (4'x8')	EA	252	0%	252	0.280	\$ 52.00	\$ 14.56	\$ 17.24	\$ 31.80	\$ 8,013.60
16			Tapping	LF	3651	10%	4017	0.008	\$ 52.00	\$ 0.42	\$ 0.08	\$ 0.50	\$ 1,992.25
17			Mudding	LBs	380	10%	418	0.255	\$ 52.00	\$ 13.26	\$ 2.85	\$ 16.11	\$ 6,729.62
18			Screws	EA	12096	0%	12096	0.000	\$ 52.00	\$ -	\$ 0.05	\$ 0.05	\$ 604.80
19			Acoustical Sealant	LF	1512	10%	1663	0.010	\$ 52.00	\$ 0.52	\$ 0.40	\$ 0.92	\$ 1,530.14
			Dry Wall @ Interior Wall (9'-8" H)	LF	350								
20			1 Layer 5/8" Gypsum Board On One Side	SF	3381	10%	3719						
21			No of Sheets (4'x8')	EA	117	0%	117	0.280	\$ 52.00	\$ 14.56	\$ 17.24	\$ 31.80	\$ 3,720.60
22			Tapping	LF	1691	10%	1860	0.008	\$ 52.00	\$ 0.42	\$ 0.08	\$ 0.50	\$ 922.34
23			Mudding	LBs	176	10%	193	0.255	\$ 52.00	\$ 13.26	\$ 2.85	\$ 16.11	\$ 3,115.56
24			Screws	EA	5616	0%	5616	0.000	\$ 52.00	\$ -	\$ 0.05	\$ 0.05	\$ 280.80
25			Acoustical Sealant	LF	700	10%	770	0.010	\$ 52.00	\$ 0.52	\$ 0.40	\$ 0.92	\$ 708.40
			Dry Wall @ Interior Wall (9'-8" H)	LF	280								
26			1 Layer 5/8" Gypsum Board On One Side	SF	2705	10%	2975						
27			No of Sheets (4'x8')	EA	93	0%	93	0.280	\$ 52.00	\$ 14.56	\$ 17.24	\$ 31.80	\$ 2,957.40
28			Tapping	LF	1352	10%	1488	0.008	\$ 52.00	\$ 0.42	\$ 0.08	\$ 0.50	\$ 737.87
29			Mudding	LBs	141	10%	155	0.255	\$ 52.00	\$ 13.26	\$ 2.85	\$ 16.11	\$ 2,492.45
30			Screws	EA	4464	0%	4464	0.000	\$ 52.00	\$ -	\$ 0.05	\$ 0.05	\$ 223.20
31			1 Layer 5/8" Moisture Resistant Board On One Side	SF	465	10%	511						
32			No of Sheets (4'x8')	EA	16	0%	16	0.280	\$ 52.00	\$ 14.56	\$ 20.31	\$ 34.87	\$ 557.92
33			Tapping	LF	232	10%	256	0.008	\$ 52.00	\$ 0.42	\$ 0.08	\$ 0.50	\$ 126.80
34	A2.01	6	Mudding	LBs	24	10%	27	0.255	\$ 52.00	\$ 13.26	\$ 2.85	\$ 16.11	\$ 428.31

DETAILED BREAKDOWN OF ITEMS

Prepared for: 22 WEST JEFFERSON RENOVATION ROCKVILLE, MD 20850
 Project ID: 28022024
 Scope: Painting & Drywall Board



TOTAL TRADE COST	\$565,443
OH & PROFIT	\$84,816
INSURANCE	\$16,963
CONTINGENCY	\$28,272
TAX	\$11,843
SUGGESTED BID	\$707,338

Date: 3/1/24

SR #	Drawing #	Detail #	DESCRIPTION	UNIT	QUANTIT Y	WASTAGE	QUANTITY W/WASTAGE	UNIT MANHOURL	HOURL Y WAGE	LABOR COST	MAT. COST	UNIT COST	SUB COST
35			Screws	EA	768	0%	768	0.000	\$ 52.00	\$ -	\$ 0.05	\$ 0.05	\$ 38.40
36			1 Layer 5/8" Concrete Board On One Side	SF	1960	10%	2156						
37			No of Sheets (4'x8')	EA	68	0%	68	0.300	\$ 52.00	\$ 15.60	\$ 42.50	\$ 58.10	\$ 3,950.80
38			Tapping	LF	980	10%	1078	0.008	\$ 52.00	\$ 0.42	\$ 0.08	\$ 0.50	\$ 534.69
39			Mudding	LBs	102	10%	112	0.255	\$ 52.00	\$ 13.26	\$ 2.85	\$ 16.11	\$ 1,806.12
40			Screws	EA	3264	0%	3264	0.000	\$ 52.00	\$ -	\$ 0.05	\$ 0.05	\$ 163.20
41			Acoustical Sealant	LF	1120	10%	1232	0.010	\$ 52.00	\$ 0.52	\$ 0.40	\$ 0.92	\$ 1,133.44
			Dry Wall @ Interior Wall (9'-8" H)	LF	58								
42			1 Layer 5/8" Moisture Resistant Board On One Side	SF	97	10%	107						
43			No of Sheets (4'x8')	EA	4	0%	4	0.280	\$ 52.00	\$ 14.56	\$ 20.31	\$ 34.87	\$ 139.48
44			Tapping	LF	49	10%	53	0.008	\$ 52.00	\$ 0.42	\$ 0.08	\$ 0.50	\$ 26.48
45			Mudding	LBs	5	10%	6	0.255	\$ 52.00	\$ 13.26	\$ 2.85	\$ 16.11	\$ 89.46
46			Screws	EA	192	0%	192	0.000	\$ 52.00	\$ -	\$ 0.05	\$ 0.05	\$ 9.60
47			1 Layer 5/8" Concrete Board On One Side	SF	409	10%	450						
48			No of Sheets (4'x8')	EA	15	0%	15	0.300	\$ 52.00	\$ 15.60	\$ 42.50	\$ 58.10	\$ 871.50
49			Tapping	LF	205	10%	225	0.008	\$ 52.00	\$ 0.42	\$ 0.08	\$ 0.50	\$ 111.67
50			Mudding	LBs	21	10%	23	0.255	\$ 52.00	\$ 13.26	\$ 2.85	\$ 16.11	\$ 377.22
51			Screws	EA	720	0%	720	0.000	\$ 52.00	\$ -	\$ 0.05	\$ 0.05	\$ 36.00
52			Acoustical Sealant	LF	117	10%	129	0.010	\$ 52.00	\$ 0.52	\$ 0.40	\$ 0.92	\$ 118.36
			Dry Wall @ Interior Wall (9'-8" H)	LF	52								
53			1 Layer 5/8" Moisture Resistant Board On Each Side	SF	173	10%	190						
54			No of Sheets (4'x8')	EA	6	0%	6	0.280	\$ 52.00	\$ 14.56	\$ 20.31	\$ 34.87	\$ 209.22
55			Tapping	LF	86	10%	95	0.008	\$ 52.00	\$ 0.42	\$ 0.08	\$ 0.50	\$ 47.10
56			Mudding	LBs	9	10%	10	0.255	\$ 52.00	\$ 13.26	\$ 2.85	\$ 16.11	\$ 159.09
57			Screws	EA	288	0%	288	0.000	\$ 52.00	\$ -	\$ 0.05	\$ 0.05	\$ 14.40
58			1 Layer 5/8" Concrete Board On Each Side	SF	728	10%	801						
59			No of Sheets (4'x8')	EA	26	0%	26	0.300	\$ 52.00	\$ 15.60	\$ 42.50	\$ 58.10	\$ 1,510.60
60			Tapping	LF	364	10%	400	0.008	\$ 52.00	\$ 0.42	\$ 0.08	\$ 0.50	\$ 198.60
61			Mudding	LBs	38	10%	42	0.255	\$ 52.00	\$ 13.26	\$ 2.85	\$ 16.11	\$ 670.85
62			Screws	EA	1248	0%	1248	0.000	\$ 52.00	\$ -	\$ 0.05	\$ 0.05	\$ 62.40
63			Acoustical Sealant	LF	208	10%	229	0.010	\$ 52.00	\$ 0.52	\$ 0.40	\$ 0.92	\$ 210.50
			SECOND FLOOR										
			Dry Wall @ Interior Wall (9'-8" H)	LF	390								
64			1 Layer 5/8" Gypsum Board On Each Side	SF	7535	10%	8288						
65			No of Sheets (4'x8')	EA	260	0%	260	0.280	\$ 52.00	\$ 14.56	\$ 17.24	\$ 31.80	\$ 8,268.00
66			Tapping	LF	3767	10%	4144	0.008	\$ 52.00	\$ 0.42	\$ 0.08	\$ 0.50	\$ 2,055.49
67			Mudding	LBs	392	10%	431	0.255	\$ 52.00	\$ 13.26	\$ 2.85	\$ 16.11	\$ 6,943.26
68			Screws	EA	12480	0%	12480	0.000	\$ 52.00	\$ -	\$ 0.05	\$ 0.05	\$ 624.00
69			Acoustical Sealant	LF	1560	10%	1716	0.010	\$ 52.00	\$ 0.52	\$ 0.40	\$ 0.92	\$ 1,578.72
			Dry Wall @ Interior Wall (9'-8" H)	LF	345								
70			1 Layer 5/8" Gypsum Board On One Side	SF	3333	10%	3666						
71			No of Sheets (4'x8')	EA	115	0%	115	0.280	\$ 52.00	\$ 14.56	\$ 17.24	\$ 31.80	\$ 3,657.00
72			Tapping	LF	1666	10%	1833	0.008	\$ 52.00	\$ 0.42	\$ 0.08	\$ 0.50	\$ 909.16
73			Mudding	LBs	173	10%	191	0.255	\$ 52.00	\$ 13.26	\$ 2.85	\$ 16.11	\$ 3,071.06

DETAILED BREAKDOWN OF ITEMS

Prepared for: 22 WEST JEFFERSON RENOVATION ROCKVILLE, MD 20850
 Project ID: 28022024
 Scope: Painting & Drywall Board

TOTAL TRADE COST	\$565,443
OH & PROFIT	\$84,816
INSURANCE	\$16,963
CONTINGENCY	\$28,272
TAX	\$11,843
SUGGESTED BID	\$707,338



Date: 3/1/24

SR #	Drawing #	Detail #	DESCRIPTION	UNIT	QUANTITY	WASTAGE	QUANTITY W/WASTAGE	UNIT MANHOUR	HOURL Y WAGE	LABOR COST	MAT. COST	UNIT COST	SUB COST		
114	A202	6	1 Layer 5/8" Gypsum Board On Each Side	SF	7322	10%	8055								
115				No of Sheets (4'x8')	EA	252	0%	252	0.280	\$ 52.00	\$ 14.56	\$ 17.24	\$ 31.80	\$ 8,013.60	
116				Tapping	LF	3661	10%	4027	0.008	\$ 52.00	\$ 0.42	\$ 0.08	\$ 0.50	\$ 1,997.52	
117				Mudding	LBs	381	10%	419	0.255	\$ 52.00	\$ 13.26	\$ 2.85	\$ 16.11	\$ 6,747.42	
118				Screws	EA	12096	0%	12096	0.000	\$ 52.00	\$ -	\$ 0.05	\$ 0.05	\$ 604.80	
119				Acoustical Sealant	LF	1516	10%	1668	0.010	\$ 52.00	\$ 0.52	\$ 0.40	\$ 0.92	\$ 1,534.19	
					Dry Wall @ Interior Wall (10'-6" H)	LF	233								
120				1 Layer 5/8" Gypsum Board On One Side	SF	2251	10%	2476							
121				No of Sheets (4'x8')	EA	78	0%	78	0.280	\$ 52.00	\$ 14.56	\$ 17.24	\$ 31.80	\$ 2,480.40	
122				Tapping	LF	1125	10%	1238	0.008	\$ 52.00	\$ 0.42	\$ 0.08	\$ 0.50	\$ 614.01	
123				Mudding	LBs	117	10%	129	0.255	\$ 52.00	\$ 13.26	\$ 2.85	\$ 16.11	\$ 2,074.08	
124				Screws	EA	3744	0%	3744	0.000	\$ 52.00	\$ -	\$ 0.05	\$ 0.05	\$ 187.20	
125				Acoustical Sealant	LF	466	10%	513	0.010	\$ 52.00	\$ 0.52	\$ 0.40	\$ 0.92	\$ 471.59	
					Dry Wall @ Interior Wall (10'-6" H)	LF	287								
126				1 Layer 5/8" Gypsum Board On One Side	SF	2772	10%	3050							
127				No of Sheets (4'x8')	EA	96	0%	96	0.280	\$ 52.00	\$ 14.56	\$ 17.24	\$ 31.80	\$ 3,052.80	
128				Tapping	LF	1386	10%	1525	0.008	\$ 52.00	\$ 0.42	\$ 0.08	\$ 0.50	\$ 756.32	
129				Mudding	LBs	144	10%	159	0.255	\$ 52.00	\$ 13.26	\$ 2.85	\$ 16.11	\$ 2,554.76	
130				Screws	EA	4608	0%	4608	0.000	\$ 52.00	\$ -	\$ 0.05	\$ 0.05	\$ 230.40	
131				1 Layer 5/8" Moisture Resistant Board On One Side	SF	476	10%	524							
132				No of Sheets (4'x8')	EA	17	0%	17	0.280	\$ 52.00	\$ 14.56	\$ 20.31	\$ 34.87	\$ 592.79	
133				Tapping	LF	238	10%	262	0.008	\$ 52.00	\$ 0.42	\$ 0.08	\$ 0.50	\$ 129.97	
134				Mudding	LBs	25	10%	27	0.255	\$ 52.00	\$ 13.26	\$ 2.85	\$ 16.11	\$ 439.02	
135				Screws	EA	816	0%	816	0.000	\$ 52.00	\$ -	\$ 0.05	\$ 0.05	\$ 40.80	
136				1 Layer 5/8" Concrete Board On One Side	SF	2009	10%	2210							
137				No of Sheets (4'x8')	EA	70	0%	70	0.300	\$ 52.00	\$ 15.60	\$ 42.50	\$ 58.10	\$ 4,067.00	
138				Tapping	LF	1005	10%	1105	0.008	\$ 52.00	\$ 0.42	\$ 0.08	\$ 0.50	\$ 548.06	
139				Mudding	LBs	104	10%	115	0.255	\$ 52.00	\$ 13.26	\$ 2.85	\$ 16.11	\$ 1,851.28	
140				Screws	EA	3360	0%	3360	0.000	\$ 52.00	\$ -	\$ 0.05	\$ 0.05	\$ 168.00	
141				Acoustical Sealant	LF	1148	10%	1263	0.010	\$ 52.00	\$ 0.52	\$ 0.40	\$ 0.92	\$ 1,161.78	
					Dry Wall @ Interior Wall (10'-6" H)	LF	31								
142				1 Layer 5/8" Moisture Resistant Board On One Side	SF	51	10%	57							
143				No of Sheets (4'x8')	EA	2	0%	2	0.280	\$ 52.00	\$ 14.56	\$ 20.31	\$ 34.87	\$ 69.74	
144				Tapping	LF	26	10%	28	0.008	\$ 52.00	\$ 0.42	\$ 0.08	\$ 0.50	\$ 14.04	
145				Mudding	LBs	3	10%	3	0.255	\$ 52.00	\$ 13.26	\$ 2.85	\$ 16.11	\$ 47.42	
146				Screws	EA	96	0%	96	0.000	\$ 52.00	\$ -	\$ 0.05	\$ 0.05	\$ 4.80	
147				1 Layer 5/8" Concrete Board On One Side	SF	217	10%	239							
148				No of Sheets (4'x8')	EA	8	0%	8	0.300	\$ 52.00	\$ 15.60	\$ 42.50	\$ 58.10	\$ 464.80	
149				Tapping	LF	109	10%	119	0.008	\$ 52.00	\$ 0.42	\$ 0.08	\$ 0.50	\$ 59.20	
150				Mudding	LBs	11	10%	12	0.255	\$ 52.00	\$ 13.26	\$ 2.85	\$ 16.11	\$ 199.96	
151				Screws	EA	384	0%	384	0.000	\$ 52.00	\$ -	\$ 0.05	\$ 0.05	\$ 19.20	
152				Acoustical Sealant	LF	62	10%	68	0.010	\$ 52.00	\$ 0.52	\$ 0.40	\$ 0.92	\$ 62.74	
					Dry Wall @ Interior Wall (9'-8" H)	LF	43								
153				1 Layer 5/8" Moisture Resistant Board On Each Side	SF	143	10%	157							
154				No of Sheets (4'x8')	EA	5	0%	5	0.280	\$ 52.00	\$ 14.56	\$ 20.31	\$ 34.87	\$ 174.35	

DETAILED BREAKDOWN OF ITEMS

Prepared for: 22 WEST JEFFERSON RENOVATION ROCKVILLE, MD 20850
 Project ID: 28022024
 Scope: Painting & Drywall Board



TOTAL TRADE COST	\$565,443
OH & PROFIT	\$84,816
INSURANCE	\$16,963
CONTINGENCY	\$28,272
TAX	\$11,843
SUGGESTED BID	\$707,338

Date: 3/1/24

SR #	Drawing #	Detail #	DESCRIPTION	UNIT	QUANTITY	WASTAGE	QUANTITY W/WASTAGE	UNIT MANHOUR	HOURL Y WAGE	LABOR COST	MAT. COST	UNIT COST	SUB COST
155			Tapping	LF	71	10%	79	0.008	\$ 52.00	\$ 0.42	\$ 0.08	\$ 0.50	\$ 38.94
156			Mudding	LBs	7	10%	8	0.255	\$ 52.00	\$ 13.26	\$ 2.85	\$ 16.11	\$ 131.55
157			Screws	EA	240	0%	240	0.000	\$ 52.00	\$ -	\$ 0.05	\$ 0.05	\$ 12.00
158			1 Layer 5/8" Concrete Board On Each Side	SF	602	10%	662						
159			No of Sheets (4x8')	EA	21	0%	21	0.300	\$ 52.00	\$ 15.60	\$ 42.50	\$ 58.10	\$ 1,220.10
160			Tapping	LF	301	10%	331	0.008	\$ 52.00	\$ 0.42	\$ 0.08	\$ 0.50	\$ 164.23
161			Mudding	LBs	31	10%	34	0.255	\$ 52.00	\$ 13.26	\$ 2.85	\$ 16.11	\$ 554.74
162			Screws	EA	1008	0%	1008	0.000	\$ 52.00	\$ -	\$ 0.05	\$ 0.05	\$ 50.40
163			Acoustical Sealant	LF	172	10%	189	0.010	\$ 52.00	\$ 0.52	\$ 0.40	\$ 0.92	\$ 174.06
			Note: Detail Are Not Found. Wall Tile 7' Assumed @ Bath Room. Please Check & Verify.										
			GYPSUM BOARD @ CEILING										
			BASEMENT										
			Gypsum Board @ Interior Ceiling										
164			1 Layer 5/8" Gypsum Board	SF	5108	10%	5619						
165			No of Sheets (4x8')	EA	176	0%	176	0.280	\$ 52.00	\$ 14.56	\$ 17.24	\$ 31.80	\$ 5,596.80
166			Tapping	LF	2554	10%	2809	0.008	\$ 52.00	\$ 0.42	\$ 0.08	\$ 0.50	\$ 1,393.46
167			Mudding	LBs	266	10%	292	0.255	\$ 52.00	\$ 13.26	\$ 2.85	\$ 16.11	\$ 4,706.98
168			Screws	EA	8448	0%	8448	0.000	\$ 52.00	\$ -	\$ 0.05	\$ 0.05	\$ 422.40
			Gypsum Board @ Interior Ceiling Soffit										
169			1 Layer 5/8" Gypsum Board (0'-6" H)	SF	19	10%	21						
170			No of Sheets (4x8')	EA	1	0%	1	0.280	\$ 52.00	\$ 14.56	\$ 17.24	\$ 31.80	\$ 31.80
171			Tapping	LF	9	10%	10	0.008	\$ 52.00	\$ 0.42	\$ 0.08	\$ 0.50	\$ 5.09
172			Mudding	LBs	1	10%	1	0.255	\$ 52.00	\$ 13.26	\$ 2.85	\$ 16.11	\$ 17.18
173			Screws	EA	48	0%	48	0.000	\$ 52.00	\$ -	\$ 0.05	\$ 0.05	\$ 2.40
			FIRST FLOOR										
			Gypsum Board @ Interior Ceiling										
174			1 Layer 5/8" Gypsum Board On Each Side	SF	2923	10%	3215						
175			No of Sheets (4x8')	EA	101	0%	101	0.280	\$ 52.00	\$ 14.56	\$ 17.24	\$ 31.80	\$ 3,211.80
176			Tapping	LF	1462	10%	1608	0.008	\$ 52.00	\$ 0.42	\$ 0.08	\$ 0.50	\$ 797.39
177			Mudding	LBs	152	10%	167	0.255	\$ 52.00	\$ 13.26	\$ 2.85	\$ 16.11	\$ 2,693.52
178			Screws	EA	4848	0%	4848	0.000	\$ 52.00	\$ -	\$ 0.05	\$ 0.05	\$ 242.40
			Moisture Resistant Board @ Interior Ceiling										
179			1 Layer 5/8" Gypsum Board	SF	2459	10%	2705						
180			No of Sheets (4x8')	EA	85	0%	85	0.280	\$ 52.00	\$ 14.56	\$ 17.24	\$ 31.80	\$ 2,703.00
181			Tapping	LF	1230	10%	1352	0.008	\$ 52.00	\$ 0.42	\$ 0.08	\$ 0.50	\$ 670.82
182			Mudding	LBs	128	10%	141	0.255	\$ 52.00	\$ 13.26	\$ 2.85	\$ 16.11	\$ 2,265.95
183			Screws	EA	4080	0%	4080	0.000	\$ 52.00	\$ -	\$ 0.05	\$ 0.05	\$ 204.00
			Gypsum Board @ Interior Ceiling Soffit										
184			1 Layer 5/8" Gypsum Board	SF	148	10%	163						
185			No of Sheets (4x8')	EA	6	0%	6	0.280	\$ 52.00	\$ 14.56	\$ 17.24	\$ 31.80	\$ 190.80
186			Tapping	LF	74	10%	82	0.008	\$ 52.00	\$ 0.42	\$ 0.08	\$ 0.50	\$ 40.48
187			Mudding	LBs	8	10%	8	0.255	\$ 52.00	\$ 13.26	\$ 2.85	\$ 16.11	\$ 136.75
188			Screws	EA	288	0%	288	0.000	\$ 52.00	\$ -	\$ 0.05	\$ 0.05	\$ 14.40

DETAILED BREAKDOWN OF ITEMS

Prepared for: 22 WEST JEFFERSON RENOVATION ROCKVILLE, MD 20850
 Project ID: 28022024
 Scope: Painting & Drywall Board

TOTAL TRADE COST	\$565,443
OH & PROFIT	\$84,816
INSURANCE	\$16,963
CONTINGENCY	\$28,272
TAX	\$11,843
SUGGESTED BID	\$707,338



Date: 3/1/24

SR #	Drawing #	Detail #	DESCRIPTION	UNIT	QUANTITY	WASTAGE	QUANTITY W/WASTAGE	UNIT MANHOUR	HOURLY WAGE	LABOR COST	MAT. COST	UNIT COST	SUB COST		
SECOND FLOOR															
Gypsum Board @ Interior Ceiling															
189	A221	A221	1 Layer 5/8" Gypsum Board On Each Side	SF	2964	10%	3260								
190			No of Sheets (4'x8')	EA	102	0%	102	0.280	\$ 52.00	\$ 14.56	\$ 17.24	\$ 31.80	\$ 3,243.60		
191			Tapping	LF	1482	10%	1630	0.008	\$ 52.00	\$ 0.42	\$ 0.08	\$ 0.50	\$ 808.58		
192			Mudding	LBs	154	10%	170	0.255	\$ 52.00	\$ 13.26	\$ 2.85	\$ 16.11	\$ 2,731.30		
193			Screws	EA	4896	0%	4896	0.000	\$ 52.00	\$ -	\$ 0.05	\$ 0.05	\$ 244.80		
Moisture Resistant Board @ Interior Ceiling															
194			1 Layer 5/8" Gypsum Board	SF	592	10%	651								
195			No of Sheets (4'x8')	EA	21	0%	21	0.280	\$ 52.00	\$ 14.56	\$ 17.24	\$ 31.80	\$ 667.80		
196			Tapping	LF	296	10%	326	0.008	\$ 52.00	\$ 0.42	\$ 0.08	\$ 0.50	\$ 161.50		
197			Mudding	LBs	31	10%	34	0.255	\$ 52.00	\$ 13.26	\$ 2.85	\$ 16.11	\$ 545.52		
198			Screws	EA	1008	0%	1008	0.000	\$ 52.00	\$ -	\$ 0.05	\$ 0.05	\$ 50.40		
Gypsum Board @ Interior Ceiling Soffit															
199			1 Layer 5/8" Gypsum Board	SF	246	10%	271								
200			No of Sheets (4'x8')	EA	9	0%	9	0.280	\$ 52.00	\$ 14.56	\$ 17.24	\$ 31.80	\$ 286.20		
201			Tapping	LF	123	10%	135	0.008	\$ 52.00	\$ 0.42	\$ 0.08	\$ 0.50	\$ 67.15		
202			Mudding	LBs	13	10%	14	0.255	\$ 52.00	\$ 13.26	\$ 2.85	\$ 16.11	\$ 226.82		
203			Screws	EA	432	0%	432	0.000	\$ 52.00	\$ -	\$ 0.05	\$ 0.05	\$ 21.60		
THIRD FLOOR															
Gypsum Board @ Interior Ceiling															
204	1 Layer 5/8" Gypsum Board On Each Side	SF	4162	10%	4578										
205	No of Sheets (4'x8')	EA	144	0%	144	0.280	\$ 52.00	\$ 14.56	\$ 17.24	\$ 31.80	\$ 4,579.20				
206	Tapping	LF	2081	10%	2289	0.008	\$ 52.00	\$ 0.42	\$ 0.08	\$ 0.50	\$ 1,135.39				
207	Mudding	LBs	216	10%	238	0.255	\$ 52.00	\$ 13.26	\$ 2.85	\$ 16.11	\$ 3,835.25				
208	Screws	EA	6912	0%	6912	0.000	\$ 52.00	\$ -	\$ 0.05	\$ 0.05	\$ 345.60				
Moisture Resistant Board @ Interior Ceiling															
209	1 Layer 5/8" Gypsum Board	SF	559	10%	615										
210	No of Sheets (4'x8')	EA	20	0%	20	0.280	\$ 52.00	\$ 14.56	\$ 17.24	\$ 31.80	\$ 636.00				
211	Tapping	LF	280	10%	307	0.008	\$ 52.00	\$ 0.42	\$ 0.08	\$ 0.50	\$ 152.50				
212	Mudding	LBs	29	10%	32	0.255	\$ 52.00	\$ 13.26	\$ 2.85	\$ 16.11	\$ 515.11				
213	Screws	EA	960	0%	960	0.000	\$ 52.00	\$ -	\$ 0.05	\$ 0.05	\$ 48.00				
Gypsum Board @ Interior Ceiling Soffit															
214	1 Layer 5/8" Gypsum Board	SF	146	10%	161										
215	No of Sheets (4'x8')	EA	6	0%	6	0.280	\$ 52.00	\$ 14.56	\$ 17.24	\$ 31.80	\$ 190.80				
216	Tapping	LF	73	10%	80	0.008	\$ 52.00	\$ 0.42	\$ 0.08	\$ 0.50	\$ 39.88				
217	Mudding	LBs	8	10%	8	0.255	\$ 52.00	\$ 13.26	\$ 2.85	\$ 16.11	\$ 134.70				
218	Screws	EA	288	0%	288	0.000	\$ 52.00	\$ -	\$ 0.05	\$ 0.05	\$ 14.40				
PAINTING															
BASEMENT															
PAINT @ GYPSUM BOARD WALLS:															

DETAILED BREAKDOWN OF ITEMS

Prepared for: 22 WEST JEFFERSON RENOVATION ROCKVILLE, MD 20850
 Project ID: 28022024
 Scope: Painting & Drywall Board

TOTAL TRADE COST	\$565,443
OH & PROFIT	\$84,816
INSURANCE	\$16,963
CONTINGENCY	\$28,272
TAX	\$11,843
SUGGESTED BID	\$707,338



Date: 3/1/24

SR #	Drawing #	Detail #	DESCRIPTION	UNIT	QUANTITY	WASTAGE	QUANTITY W/WASTAGE	UNIT MANHOUR	HOURL Y WAGE	LABOR COST	MAT. COST	UNIT COST	SUB COST	
227		Interior Finish Material Schedule/A604	PT-1: 1 Coat Of Primer And 2 Coats Of Paint Mfg.: Sherwin Williams Product: SW 7656 Rhinestone Finish: Low Luster	SF	1505	10%	1655	0.042	\$ 54.00	\$ 2.27	\$ 1.25	\$ 3.52	\$ 5,822	
228			PT-2: 1 Coat Of Primer And 2 Coats Of Paint Mfg.: Sherwin Williams Product: SW 7656 Rhinestone Finish: Low Luster	SF	20	10%	22	0.042	\$ 54.00	\$ 2.27	\$ 1.25	\$ 3.52	\$ 76	
				PAINT @ GYPSUM BOARD CEILING:										
229				PT-1: 1 Coat Of Primer And 2 Coats Of Paint Mfg.: Sherwin Williams Product: SW 7656 Rhinestone Finish: Low Luster	SF	2327	10%	2560	0.048	\$ 54.00	\$ 2.59	\$ 1.25	\$ 3.84	\$ 9,834
230				PT-4: 1 Coat Of Primer And 2 Coats Of Paint Mfg.: Sherwin Williams	SF	596	10%	656	0.048	\$ 54.00	\$ 2.59	\$ 1.25	\$ 3.84	\$ 2,519
231				PT-5: 1 Coat Of Primer And 2 Coats Of Paint Mfg.: Sherwin Williams Product: SW 7007 Bright White Finish: Low Luster	SF	548	10%	603	0.048	\$ 54.00	\$ 2.59	\$ 1.25	\$ 3.84	\$ 2,316
				PAINT @ EXPOSED CEILING:										
232	A220			PT-1: 1 Coat Of Primer And 2 Coats Of Paint Mfg.: Sherwin Williams Product: SW 7656 Rhinestone Finish: Low Luster	SF	978	10%	1076	0.048	\$ 54.00	\$ 2.59	\$ 1.25	\$ 3.84	\$ 4,133
233				PT-4: 1 Coat Of Primer And 2 Coats Of Paint Mfg.: Sherwin Williams	SF	377	10%	415	0.048	\$ 54.00	\$ 2.59	\$ 1.25	\$ 3.84	\$ 1,593
			PAINT @ GYPSUM BOARD CEILING SOFFIT:											
234			PT-1: 1 Coat Of Primer And 2 Coats Of Paint Mfg.: Sherwin Williams Product: SW 7656 Rhinestone Finish: Low Luster	SF	148	10%	163	0.048	\$ 54.00	\$ 2.59	\$ 1.25	\$ 3.84	\$ 627	
			SECOND FLOOR											
			PAINT @ GYPSUM BOARD WALLS:											
235			PT-1: 1 Coat Of Primer And 2 Coats Of Paint Mfg.: Sherwin Williams Product: SW 7656 Rhinestone Finish: Low Luster	SF	11919	10%	13111	0.046	\$ 54.00	\$ 2.48	\$ 1.25	\$ 3.73	\$ 48,958	
236			PT-2: 1 Coat Of Primer And 2 Coats Of Paint Mfg.: Sherwin Williams Product: SW 7656 Rhinestone Finish: Low Luster	SF	489	10%	538	0.046	\$ 54.00	\$ 2.48	\$ 1.25	\$ 3.73	\$ 2,010	

DETAILED BREAKDOWN OF ITEMS

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OH & PROFIT	\$84,816
INSURANCE	\$16,963
CONTINGENCY	\$28,272
TAX	\$11,843
SUGGESTED BID	\$707,338



Date: 3/1/24

SR #	Drawing #	Detail #	DESCRIPTION	UNIT	QUANTITY	WASTAGE	QUANTITY W/WASTAGE	UNIT MANHOUR	HOURLY WAGE	LABOR COST	MAT. COST	UNIT COST	SUB COST	
	A202		PAINT @ EXISTING WALLS:											
237		Interior Finish Material Schedule/A604	PT-1: 1 Coat Of Primer And 2 Coats Of Paint Mfg.: Sherwin Williams Product: SW 7656 Rhinestone Finish: Low Luster	SF	944	10%	1038	0.046	\$ 54.00	\$ 2.48	\$ 1.25	\$ 3.73	\$ 3,875	
238			PT-2: 1 Coat Of Primer And 2 Coats Of Paint Mfg.: Sherwin Williams Product: SW 7656 Rhinestone Finish: Low Luster	SF	24	10%	26	0.046	\$ 54.00	\$ 2.48	\$ 1.25	\$ 3.73	\$ 98	
			PAINT @ GYPSUM BOARD CEILING:											
239			PT-1: 1 Coat Of Primer And 2 Coats Of Paint Mfg.: Sherwin Williams Product: SW 7656 Rhinestone Finish: Low Luster	SF	2340	10%	2574	0.048	\$ 54.00	\$ 2.59	\$ 1.25	\$ 3.84	\$ 9,889	
240			PT-4: 1 Coat Of Primer And 2 Coats Of Paint Mfg.: Sherwin Williams	SF	624	10%	686	0.048	\$ 54.00	\$ 2.59	\$ 1.25	\$ 3.84	\$ 2,637	
241			PT-5: 1 Coat Of Primer And 2 Coats Of Paint Mfg.: Sherwin Williams Product: SW 7007 Bright White Finish: Low Luster	SF	592	10%	651	0.048	\$ 54.00	\$ 2.59	\$ 1.25	\$ 3.84	\$ 2,502	
			PAINT @ EXPOSED CEILING:											
242	A221		PT-1: 1 Coat Of Primer And 2 Coats Of Paint Mfg.: Sherwin Williams Product: SW 7656 Rhinestone Finish: Low Luster	SF	996	10%	1096	0.048	\$ 54.00	\$ 2.59	\$ 1.25	\$ 3.84	\$ 4,209	
243			PT-4: 1 Coat Of Primer And 2 Coats Of Paint Mfg.: Sherwin Williams	SF	375	10%	413	0.048	\$ 54.00	\$ 2.59	\$ 1.25	\$ 3.84	\$ 1,585	
			PAINT @ GYPSUM BOARD CEILING SOFFIT:											
244		PT-1: 1 Coat Of Primer And 2 Coats Of Paint Mfg.: Sherwin Williams Product: SW 7656 Rhinestone Finish: Low Luster	SF	246	10%	271	0.048	\$ 54.00	\$ 2.59	\$ 1.25	\$ 3.84	\$ 1,040		
		THIRD FLOOR												
		PAINT @ GYPSUM BOARD WALLS:												
245		PT-1: 1 Coat Of Primer And 2 Coats Of Paint Mfg.: Sherwin Williams Product: SW 7656 Rhinestone Finish: Low Luster	SF	11309	10%	12440	0.046	\$ 54.00	\$ 2.48	\$ 1.25	\$ 3.73	\$ 46,452		
246		PT-2: 1 Coat Of Primer And 2 Coats Of Paint Mfg.: Sherwin Williams Product: SW 7656 Rhinestone Finish: Low Luster	SF	525	10%	578	0.046	\$ 54.00	\$ 2.48	\$ 1.25	\$ 3.73	\$ 2,157		

DETAILED BREAKDOWN OF ITEMS

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 Project ID: 28022024
 Scope: Painting & Drywall Board

TOTAL TRADE COS	\$565,443
OH & PROFIT	\$84,816
INSURANCE	\$16,963
CONTINGENCY	\$28,272
TAX	\$11,843
SUGGESTED BID	\$707,338



Date: 3/1/24

SR #	Drawing #	Detail #	DESCRIPTION	UNIT	QUANTIT Y	WASTAGE	QUANTITY W/WASTAGE	UNIT MANHOUR	HOURL Y WAGE	LABOR COST	MAT. COST	UNIT COST	SUB COST
	A202		PAINT @ EXISTING WALLS:										
247			PT-1: 1 Coat Of Primer And 2 Coats Of Paint Mfg.: Sherwin Williams Product: SW 7656 Rhinestone Finish: Low Luster	SF	1147	10%	1262	0.046	\$ 54.00	\$ 2.48	\$ 1.25	\$ 3.73	\$ 4,713
248			PT-2: 1 Coat Of Primer And 2 Coats Of Paint Mfg.: Sherwin Williams Product: SW 7656 Rhinestone Finish: Low Luster	SF	22	10%	24	0.046	\$ 54.00	\$ 2.48	\$ 1.25	\$ 3.73	\$ 89
			PAINT @ GYPSUM BOARD CEILING:										
249		Interior Finish Material Schedule/A604	PT-1: 1 Coat Of Primer And 2 Coats Of Paint Mfg.: Sherwin Williams Product: SW 7656 Rhinestone Finish: Low Luster	SF	3463	10%	3809	0.048	\$ 54.00	\$ 2.59	\$ 1.25	\$ 3.84	\$ 14,635
250			PT-4: 1 Coat Of Primer And 2 Coats Of Paint Mfg.: Sherwin Williams	SF	699	10%	769	0.048	\$ 54.00	\$ 2.59	\$ 1.25	\$ 3.84	\$ 2,954
251			PT-5: 1 Coat Of Primer And 2 Coats Of Paint Mfg.: Sherwin Williams Product: SW 7007 Bright White Finish: Low Luster	SF	559	10%	615	0.048	\$ 54.00	\$ 2.59	\$ 1.25	\$ 3.84	\$ 2,362
	A221		PAINT @ EXPOSED CEILING:										
252			PT-1: 1 Coat Of Primer And 2 Coats Of Paint Mfg.: Sherwin Williams Product: SW 7656 Rhinestone Finish: Low Luster	SF	996	10%	1096	0.048	\$ 54.00	\$ 2.59	\$ 1.25	\$ 3.84	\$ 4,209
253			PT-4: 1 Coat Of Primer And 2 Coats Of Paint Mfg.: Sherwin Williams	SF	375	10%	413	0.048	\$ 54.00	\$ 2.59	\$ 1.25	\$ 3.84	\$ 1,585
			PAINT @ GYPSUM BOARD CEILING SOFFIT:										
254			PT-1: 1 Coat Of Primer And 2 Coats Of Paint Mfg.: Sherwin Williams Product: SW 7656 Rhinestone Finish: Low Luster	SF	146	10%	161	0.048	\$ 54.00	\$ 2.59	\$ 1.25	\$ 3.84	\$ 618
			Note: Detail Are Not Found. Wall Tile 7' Assumed @ Bath Room. Other Height Paint Assumed. Please Check & Verify.										
			PAINT @ DOOR & FRAME										
			BASEMENT										
255			Paint: 1 Coat Of Primer And 2 Coats Of Paint @ 2'-10" x 8'-0" Single Leaf Wood Door W/ Wood Frame Mfg: Sherwin Williams Color: To Be Selected By Builder Finish: Semi-Gloss latex	EA	3	0%	3	1.915	\$ 54.00	\$ 103.42	\$ 102.60	\$ 206.02	\$ 618

DETAILED BREAKDOWN OF ITEMS

Prepared for: 22 WEST JEFFERSON RENOVATION ROCKVILLE, MD 20850
 Project ID: 28022024
 Scope: Painting & Drywall Board

TOTAL TRADE COST	\$565,443
OH & PROFIT	\$84,816
INSURANCE	\$16,963
CONTINGENCY	\$28,272
TAX	\$11,843
SUGGESTED BID	\$707,338



Date: 3/1/24

SR #	Drawing #	Detail #	DESCRIPTION	UNIT	QUANTIT Y	WASTAGE	QUANTITY W/WASTAGE	UNIT MANHOUR	HOURL Y WAGE	LABOR COST	MAT. COST	UNIT COST	SUB COST		
269	A601	Schedule/A604	2'-0" x 7'-0" Single Leaf Wood Door W/ Wood Frame Stained - 1 Coat Interior Stain - 1 Coat Polyurethane Varnish	EA	2	0%	2	1.176	\$ 54.00	\$ 63.50	\$ 63.00	\$ 126.50	\$ 253		
270			2'-4" x 7'-0" Single Leaf Wood Door W/ Wood Frame Stained - 1 Coat Interior Stain - 1 Coat Polyurethane Varnish	EA	2	0%	2	1.352	\$ 54.00	\$ 73.03	\$ 72.45	\$ 145.48	\$ 291		
271			2'-6" x 7'-0" Single Leaf Wood Door W/ Wood Frame Stained - 1 Coat Interior Stain - 1 Coat Polyurethane Varnish	EA	2	0%	2	1.470	\$ 54.00	\$ 79.38	\$ 78.75	\$ 158.13	\$ 316		
272			2'-8" x 7'-0" Single Leaf Wood Door W/ Wood Frame Stained - 1 Coat Interior Stain - 1 Coat Polyurethane Varnish	EA	4	0%	4	1.588	\$ 54.00	\$ 85.73	\$ 85.05	\$ 170.78	\$ 683		
273			2'-10" x 7'-0" Single Leaf Wood Door W/ Wood Frame Stained - 1 Coat Interior Stain - 1 Coat Polyurethane Varnish	EA	32	0%	32	1.676	\$ 54.00	\$ 90.49	\$ 89.78	\$ 180.27	\$ 5,769		
274			3'-0" x 7'-0" Single Leaf Wood Door W/ Wood Frame Stained - 1 Coat Interior Stain - 1 Coat Polyurethane Varnish	EA	2	0%	2	1.764	\$ 54.00	\$ 95.26	\$ 94.50	\$ 189.76	\$ 380		
275			3'-6" x 7'-0" Single Leaf Wood Door W/ Wood Frame Stained - 1 Coat Interior Stain - 1 Coat Polyurethane Varnish	EA	2	0%	2	2.058	\$ 54.00	\$ 111.13	\$ 110.25	\$ 221.38	\$ 443		
276			3'-0" x 8'-0" Single Leaf Wood Door W/ Wood Frame Stained - 1 Coat Interior Stain - 1 Coat Polyurethane Varnish	EA	4	0%	4	2.016	\$ 54.00	\$ 108.86	\$ 108.00	\$ 216.86	\$ 867		
277			5'-0" x 7'-0" Double Leaf Wood Door W/ Wood Frame Stained - 1 Coat Interior Stain - 1 Coat Polyurethane Varnish	EA	1	0%	1	2.940	\$ 54.00	\$ 158.76	\$ 157.50	\$ 316.26	\$ 316		
			3RD FLOOR												
278			2'-0" x 7'-0" Single Leaf Wood Door W/ Wood Frame Stained - 1 Coat Interior Stain - 1 Coat Polyurethane Varnish	EA	1	0%	1	1.176	\$ 54.00	\$ 63.50	\$ 63.00	\$ 126.50	\$ 127		
279			2'-4" x 7'-0" Single Leaf Wood Door W/ Wood Frame Stained - 1 Coat Interior Stain - 1 Coat Polyurethane Varnish	EA	3	0%	3	1.352	\$ 54.00	\$ 73.03	\$ 72.45	\$ 145.48	\$ 436		
280			2'-6" x 7'-0" Single Leaf Wood Door W/ Wood Frame Stained - 1 Coat Interior Stain - 1 Coat Polyurethane Varnish	EA	2	0%	2	1.470	\$ 54.00	\$ 79.38	\$ 78.75	\$ 158.13	\$ 316		
281			2'-8" x 7'-0" Single Leaf Wood Door W/ Wood Frame Stained - 1 Coat Interior Stain - 1 Coat Polyurethane Varnish	EA	6	0%	6	1.588	\$ 54.00	\$ 85.73	\$ 85.05	\$ 170.78	\$ 1,025		
282			2'-10" x 7'-0" Single Leaf Wood Door W/ Wood Frame Stained - 1 Coat Interior Stain - 1 Coat Polyurethane Varnish	EA	26	0%	26	1.676	\$ 54.00	\$ 90.49	\$ 89.78	\$ 180.27	\$ 4,687		
283	3'-0" x 7'-0" Single Leaf Wood Door W/ Wood Frame Stained - 1 Coat Interior Stain - 1 Coat Polyurethane Varnish	EA	4	0%	4	1.764	\$ 54.00	\$ 95.26	\$ 94.50	\$ 189.76	\$ 759				
284	3'-6" x 7'-0" Single Leaf Wood Door W/ Wood Frame Stained - 1 Coat Interior Stain - 1 Coat Polyurethane Varnish	EA	1	0%	1	2.058	\$ 54.00	\$ 111.13	\$ 110.25	\$ 221.38	\$ 221				

DETAILED BREAKDOWN OF ITEMS

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 Project ID: 28022024
 Scope: Painting & Drywall Board



TOTAL TRADE COST	\$565,443
OH & PROFIT	\$84,816
INSURANCE	\$16,963
CONTINGENCY	\$28,272
TAX	\$11,843
SUGGESTED BID	\$707,338

Date: 3/1/24

SR #	Drawing #	Detail #	DESCRIPTION	UNIT	QUANTITY	WASTAGE	QUANTITY W/WASTAGE	UNIT MANHOUR	HOURLY WAGE	LABOR COST	MAT. COST	UNIT COST	SUB COST	
285			3'-0" x 8'-0" Single Leaf Wood Door W/ Wood Frame Stained - 1 Coat Interior Stain - 1 Coat Polyurethane Varnish	EA	4	0%	4	2.016	\$ 54.00	\$ 108.86	\$ 108.00	\$ 216.86	\$ 867	
286			5'-0" x 7'-0" Double Leaf Wood Door W/ Wood Frame Stained - 1 Coat Interior Stain - 1 Coat Polyurethane Varnish	EA	3	0%	3	2.940	\$ 54.00	\$ 158.76	\$ 157.50	\$ 316.26	\$ 949	
			PAINT @ ARCHITECTURAL TRIM											
287		Assumed	EX-PT-1: Paint @ Wood Trim Mfg: Sherwin Williams Color: Pillar White SW 4029 Finish: Gloss	LF	14	10%	15	0.011	\$ 54.00	\$ 0.59	\$ 0.44	\$ 1.03	\$ 15	
288			Paint: 1 Coat Of Primer And 2 Coats Of Paint @ Wood Trim Mfg.: Sherwin Williams Color: To Be Selected By Builder Finish: Semi-Gloss Latex	LF	1009	10%	1110	0.011	\$ 54.00	\$ 0.59	\$ 0.44	\$ 1.03	\$ 1,148	
289			Wood Door Trim Stained - 1 Coat Interior Stain - 1 Coat Polyurethane Varnish	LF	6045	10%	6650	0.011	\$ 54.00	\$ 0.59	\$ 0.44	\$ 1.03	\$ 6,876	
			EXTERIOR											
			PAINT @ GUTTER											
290		A203 Exterior Finish Schedule/A301	EX-PT-1: 1 Coat Of Primer And 2 Coats Of Paint Mfg.: Sherwin Williams Product: SW 4029 Pillar White Finish: Gloss	LF	262	10%	288	0.022	\$ 54.00	\$ 1.19	\$ 0.58	\$ 1.77	\$ 510	
				PAINT @ FASCIA										
291				EX-PT-1: 1 Coat Of Primer And 2 Coats Of Paint Mfg.: Sherwin Williams Product: SW 4029 Pillar White Finish: Gloss	LF	262	10%	288	0.018	\$ 54.00	\$ 0.97	\$ 0.56	\$ 1.53	\$ 442
				PAINT @ GUARD RAIL										
292			EX-PT-1: 1 Coat Of Primer And 2 Coats Of Paint Mfg.: Sherwin Williams Product: SW 4029 Pillar White Finish: Gloss	LF	85	10%	94	0.040	\$ 54.00	\$ 2.16	\$ 3.20	\$ 5.36	\$ 501	
			PAINT @ DOWNSPOUT											
293			EX-PT-1: 1 Coat Of Primer And 2 Coats Of Paint Mfg.: Sherwin Williams Product: SW 4029 Pillar White Finish: Gloss	LF	144	10%	158	0.018	\$ 54.00	\$ 0.97	\$ 0.58	\$ 1.55	\$ 246	
SUBTOTAL												\$ 518,743		
PROJECTED COST													\$565,443	

DETAILED BREAKDOWN OF ITEMS

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SUGGESTED BID	\$707,338



Date: 3/1/24

SR #	Drawing #	Detail #	DESCRIPTION	UNIT	QUANTIT Y	WASTAGE	QUANTITY W/WASTAGE	UNIT MANHOUR	HOURL Y WAGE	LABOR COST	MAT. COST	UNIT COST	SUB COST
OVERHEAD AND PROFIT												15%	\$84,816
INSURANCE												3%	\$16,963
CONTINGENCY												5%	\$28,272
TAX												6%	\$11,843
SUGGESTED BID													\$707,338