

OWNER: FERNANDO GARZA, JR.
 LOCATION: 6433 N. TOWER ROAD
 EDINBURG, TEXAS 78542

BUILDING AREA	S.F.
LIVING AREA	1,477
PORCH AREA	108
PATIO AREA	0
GARAGE AREA	0
TOTAL BUILDING AREA	1,586

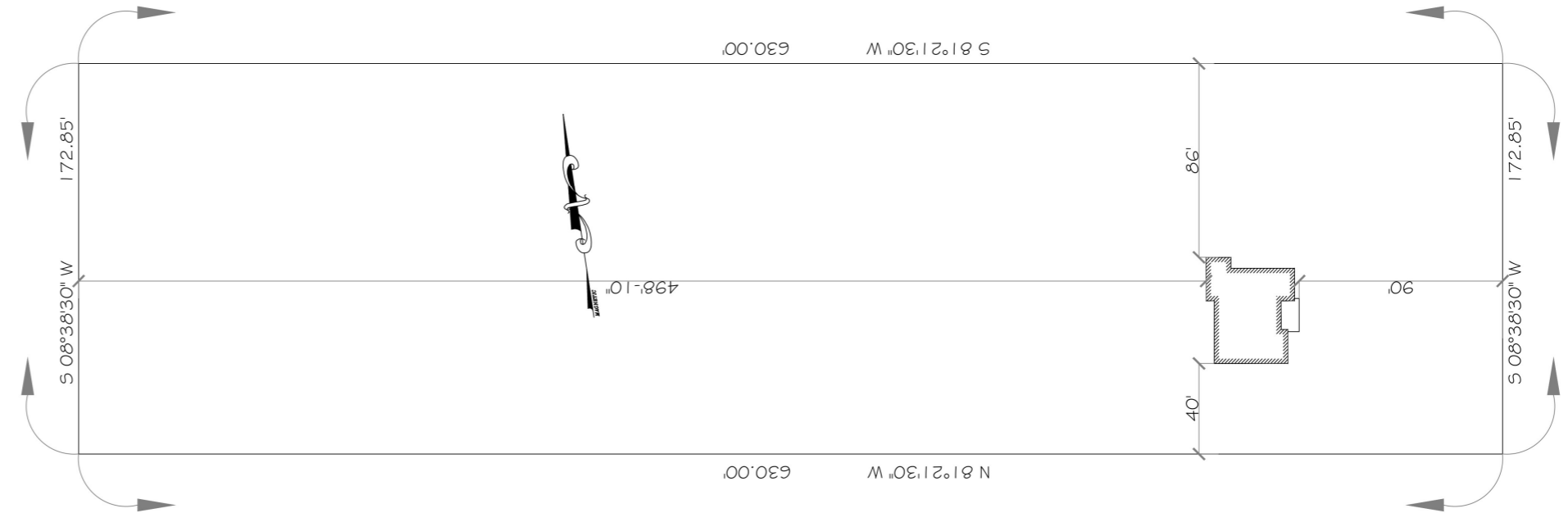
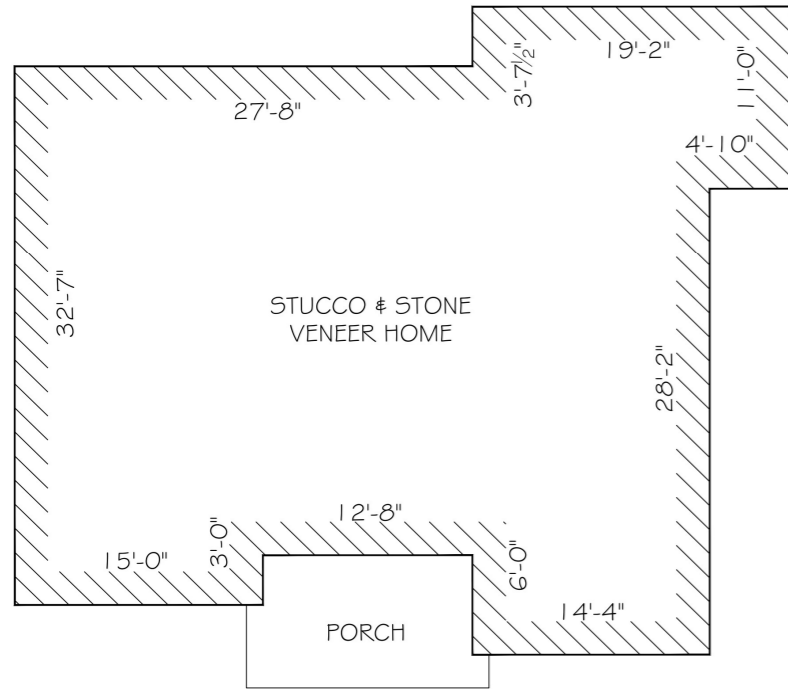
SHEET LEGEND

1. SITE PLAN
2. FLOOR PLAN & DETAILS
3. CEILING DESIGN & DIMENSIONS
4. ELECTRICAL PLAN & DETAILS
5. FOUNDATION PLAN & DETAILS
6. PLUMBING PLAN & DETAILS
7. ROOF DESIGN & ELEVATIONS

SITE PLAN
 OF
 THE WEST 1/2 OF THE 660 FEET OF LOT NUMBER SIX (6),
 BLOCK SIXTY-FOUR (64), GULF COAST IRRIGATION
 COMPANY SUBDIVISION, ACCORDING TO THE OFFICIAL
 MAP OF PLAT THEREOF RECORDED IN VOLUME 1, PAGE
 489, MAP RECORDS, WILLACY COUNTY, TEXAS.

SITE PLAN NOTES

1. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE COMMENCING WORK.
2. FINISH FLOOR ELEVATION SHALL BE A MINIMUM 1'8" ABOVE TOP OF CURB.
3. FIELD VERIFY SIDEWALK REQUIREMENTS AS PER CITY CODE, SUBDIVISION, OR ENGINEERING DPT.



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PROJECT TYPE: PROPOSED STUCCO & STONE VENEER HOME
 SHEET TITLE: SITE PLAN
 SCALE: AS NOTED
 OWNER: GARZA RESIDENCE

DATE: 05.17.2024
 DRAWN: Esmeralda
 CAD NO: 2024.004



FLOOR PLAN
SCALE: 3/8" = 1'-0"

2 x 8 Ceiling Joist @ 16" O.C	1356.9 SQ FT
2 x 4 Interior Wood Stud Wall @ 16" O.C (61 MRB)	152.9 FT
2 x 6 Plumbing Wall @ 16" O.C (one Side MRB LF)	47.4 FT
2 x 6 Exterior Plumbing Wall @ 16" O.C	19.5 FT
2 x 4 Exterior Wood Stud Wall @ 16" O.C (25 LF)MRB	156.1 FT
28" x 96" Door -Return Air Grill -Filter	1.0 EA
28" x 96" Interior Masonite Hollow Core Door	5.0 EA
30" x 96" Shower Glass Door	1.0 EA
30" x 96" Shower Glass Sliding Door	1.0 EA
30" x 96" Masonite Interior Hollow Core Door	2.0 EA
32" x 96" Masonite Interior Hollow Core Door	1.0 EA
32" x 96" 6 Panel Fire Rated Self Closing Door	1.0 EA
32" x 96" Exit Door W/ Glass	1.0 EA
48" x 96" Double Sliding Door W/ Mirrors	2.0 EA
48" x 108" Entry French Door	1.0 EA
24" x 24" Vinyle Frame Double Pane Window W/ Low-E	2.0 EA
24" x 30" Vinyle Frame Double Pane Window W/ Low-E	2.0 EA
36" x 36" Vinyle Frame Double Pane Window W/ Low-E	1.0 EA
24" x 60" Vinyle Frame Double Pane Window W/ Low-E	3.0 EA
48" x 24" Vinyle Frame Double Pane Window W/ Low-E	1.0 EA
78" x 60" Vinyle Frame Double Pane Window W/ Low-E	1.0 EA
78" x 60" Vinyle Frame Double Pane Window W/ Low-E	1.0 EA
Ceramick Tile Flooring @ Restroom	284.1 SQ FT
Carpet Flooring	607.4 SQ FT
LVT Flooring	418.6 SQ FT
LVT To Carpet Tile Transtion Strip	10.3 FT
Transtion Strip LVT To Tile Flooring	5.5 FT
Transtion Strip Carpet To Tile Flooring	2.6 FT
Sealed Concrete Flooring	112.3 SQ FT
Transtion Strip LVT To Sealed Flooring	4.0 FT
2 x 8 Ceiling Joist	982.4 FT

DOOR SCHEDULE

KEY	SIZE W X H	TYPE	QTY
1	28" X 96"	DOOR W/ RETURN AIR GRILLE W/ FILTER	1
2	28" X 96"	MASONITE INTERIOR HOLLOW CORE	5
3	30" X 96"	SHOWER GLASS DOOR	1
4	30" X 96"	SHOWER GLASS SLIDING DOOR	1
5	30" X 96"	MASONITE INTERIOR HOLLOW CORE	2
6	32" X 96"	MASONITE INTERIOR HOLLOW CORE	1
7	32" X 96"	6 PANEL FIRE RATED SELF-CLOSING DOOR	1
8	32" X 96"	EXIT DOOR W/ GLASS	1
9	48" X 96"	DOUBLE SLIDING DOORS W/ MIRRORS	2
10	48" X 108"	ENTRY FRENCH DOORS	1

WINDOW SCHEDULE

KEY	SIZE W X H	TYPE	HEAD HEIGHT	QTY
A	24" X 24"	VINYL FRAME: DBL PANE W/ LOW-E	8'-0" AFF	2
B	24" X 30"	VINYL FRAME: DBL PANE W/ LOW-E	1'6"-9 1/2" AFF	2
C	36" X 36"	VINYL FRAME: DBL PANE W/ LOW-E	8'-0" AFF	1
D	36" X 60"	VINYL FRAME: DBL PANE W/ LOW-E	8'-0" AFF	1
E	48" X 24"	VINYL FRAME: DBL PANE W/ LOW-E	8'-0" AFF	1
F	48" X 60"	VINYL FRAME: DBL PANE W/ LOW-E	8'-0" AFF	1
G	78" X 60"	VINYL FRAME: DBL PANE W/ LOW-E	8'-0" AFF	1

11. ALL LOCAL CODES, ORDINANCES, FEDERAL AND STATE REGULATIONS SHALL BE CONSIDERED AS PART OF SPECIFICATIONS FOR THE PROPOSED CONSTRUCTION AND SHALL TAKE PREFERENCE OVER ANYTHING SHOWN, DESCRIBED OR IMPLIED WHERE VARIANCES OCCUR.

12. DESIGNER NOT RESPONSIBLE FOR MATERIALS OR WORKMANSHIP UNDER CONSTRUCTION, CONTRACTOR TO VERIFY ALL DIMENSIONS IN BIDDING ON JOB SITE.

13. CONTRACTOR SHALL CHECK ALL MEASUREMENTS AND MAKE REQUIRED ADJUSTMENTS FOR PROPER CONSTRUCTION.

SHEET
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of 7

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PROJECT TYPE: PROPOSED STUCCO & STONE VENEER HOME
SHEET TITLE: FLOOR PLAN & DETAILS
SCALE: AS NOTED
OWNER: GARZA RESIDENCE

DATE: 05.17.2024
DRAWN: Esmeralda
CAD NO: 2024.004

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PROJECT TYPE: PROPOSED STUCCO # STONE VENEER HOME
SHEET TITLE: CEILING DESIGN # DIMENSIONS
SCALE: AS NOTED
OWNER: GARZA RESIDENCE

DATE: 05.17.2024
DRAWN: Esmeralda
CAD NO: 2024.004



- 1106.5 SQ FT 1/2" Gypsum Board Ceiling
- 108.5 SQ FT 1/2" Concrete Ceiling
- 193.6 SQ FT 1/2" Moisture Resistance Ceiling
- 26.2 FT 1'-0" H. Gypsum Board Ceiling Soffit
- 416.3 FT Wall Paint 10'-0" H.
- 123.0 FT Wall Tile 7'-0" Wall Paint 3'-0" H.
- 29.4 FT Wall Tile 10'-0" H.
- 14.8 FT 2'-0" Deep Base Cabinet 2'-10" H.
- 13.0 FT 1'-0" Deep Top Cabinet 2'-6" H.
- 38.2 FT 1'-0" Deep Closet
- 3.0 EA 18" Grab Bar
- 3.0 EA 36" Grab Bar
- 5.0 EA 42" Grab Bar
- 3.0 EA Tissue Dispenser
- 3.0 EA Tissue Disposal
- 5.0 EA Wall Mirror
- 5.0 EA Soap Dispenser
- 1.0 EA 3'-0" x 5'-0" Shower Pan
- 1.0 EA 4'-0" x 5'-0" Shower Pan
- 3.0 EA Coat Hook
- 1.0 EA Cooking Range W/ Hood
- 1.0 EA Refrigerator
- 1.0 EA Dryer
- 1.0 EA Washing
- 6'-0" x 3'-0" Ice Land
- 14.5 SQ FT Solid Surface Counter Top @ Kitchen
- 18.0 SQ FT Solid Surface Counter Top @ Ice Land
- 20.2 SQ FT Solid Surface Counter Top @ Vanity
- 136.0 FT 1'-0" x 1'-0" Exposed Beam
- 16.6 FT 4" H. Backsplash

CEILING DESIGN DIMENSIONS
SCALE: 3/8" = 1'-0"

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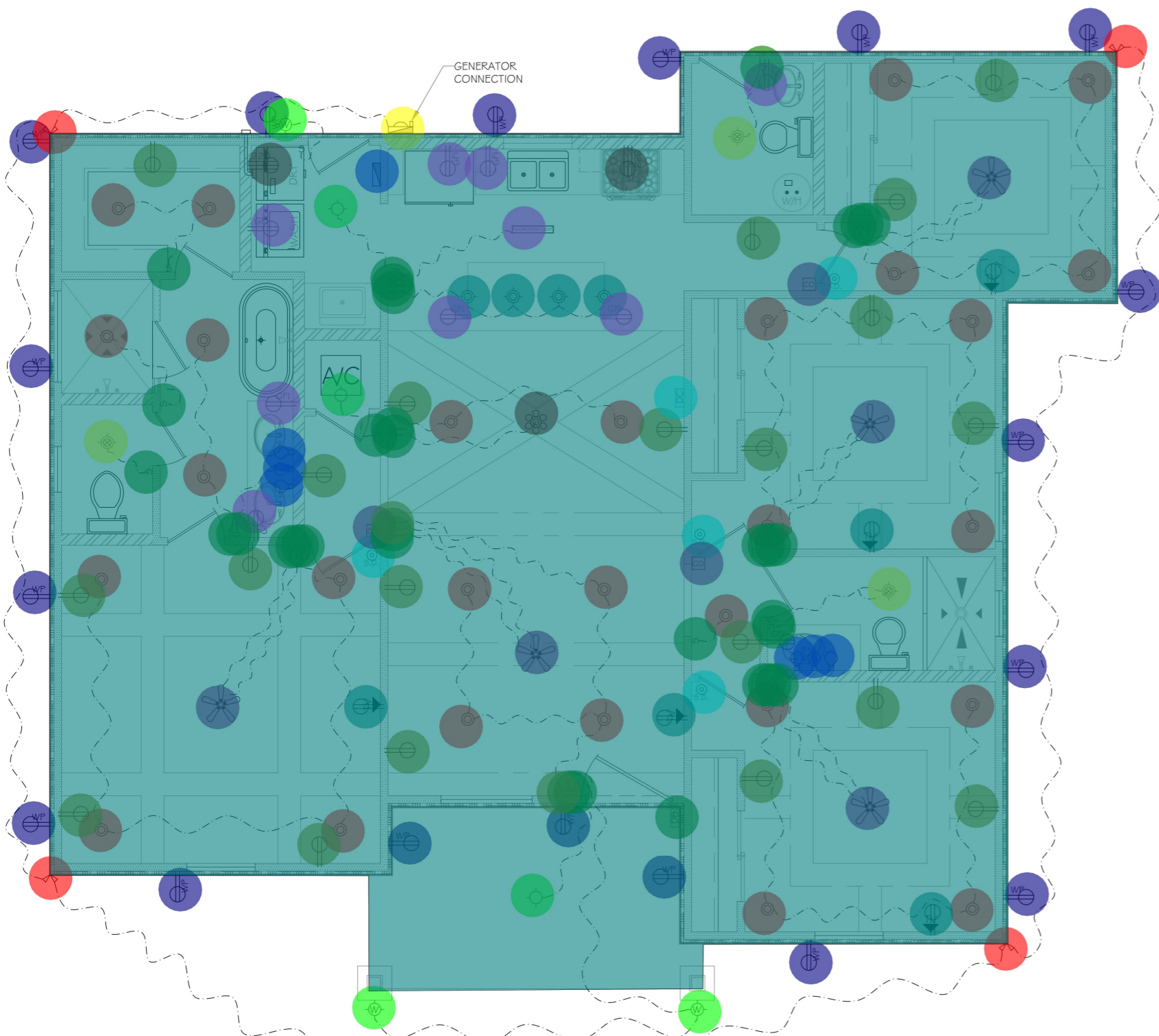
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ELECTRICAL LEGEND

- LIGHT / EXHAUST FAN UNIT
- INCANDESCENT LIGHT FIXTURE
- WALL MOUNTED INCANDESCENT LIGHT FIXTURE
- DROP DOWN INCANDESCENT LIGHT FIXTURE
- RECESSED LIGHT FIXTURE
- VANITY LIGHT FIXTURE
- SPOT LIGHT
- EXHAUST FAN UNIT
- EXTERIOR SECURITY LIGHT FIXTURE WITH AUTOMATIC SENSOR
- CHANDELIER LIGHT FIXTURE
- CEILING FAN W/ LIGHT FIXTURE
- FLOURESCENT LIGHT FIXTURE
- DOOR BELL
- DOOR CHIME
- SMOKE DETECTOR
- CO DETECTOR
- EXTERIOR SPOTLIGHT FIXTURE WITH AUTOMATIC SENSOR
- TELEVISION SERVICE CONNECTION
- SINGLE-POLE ELECTRICAL SWITCH
- THREE-WAY ELECTRICAL FIXTURE SWITCH
- FOUR-WAY ELECTRICAL FIXTURE SWITCH
- ELECTRICAL FIXTURE DIMMER SWITCH
- ELECTRICAL SERVICE BREAKER PANEL
- ELECTRICAL SERVICE METER WITH MAIN DISCONNECT
- DUPLEX RECEPTACLE OUTLET
- GROUND-FAULT CIRCUIT INTERRUPTOR
- EXTERIOR WEATHER-PROOF DUPLEX RECEPTACLE OUTLET
- 220V RECEPTACLE OUTLET

ELECTRICAL NOTES

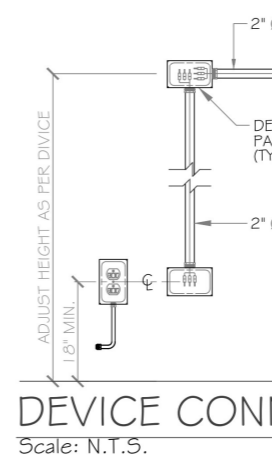
1. SEE LEGEND FOR PLAN ELECTRICAL SYMBOLS
2. RECEPTACLE OUTLETS IN THE UTILITY ROOM AND GARAGE ARE NOT TO BE ANY LOWER THAN 18" OFF THE FINISHED FLOOR AND SHALL BE IN A GFI CIRCUIT.
3. PROVIDE GFI ELECTRICAL OUTLET AT EVERY SINK IN ALL BATHROOMS.
4. PROVIDE ELECTRICAL OUTLETS FOR A/C IN ROOM.
5. IF NEEDED, INSTALL APPROPRIATE ELECTRICAL OUTLET FOR KITCHEN SINK DISPOSAL AS PER MODEL SPECIFICATIONS.
6. PROVIDE WEATHER PROOF RECEPTACLE OUTLETS AT EXTERIOR.
7. EXTERIOR FOG LIGHTS AND AREA LIGHT TO BE EQUIPPED W/ SENSORS AND AUTOMATIC TIMER.
8. ELECTRICAL METER TO BE LOCATED AS PER ELECTRICIAN AND CONTRACTOR SPECIFICATIONS.
10. ALL ELECTRICAL WORK TO BE PERFORMED TO COMPLY WITH NATIONAL, STATE AND LOCAL CODES.



ELECTRICAL PLAN
SCALE: 3/8" = 1'-0"

ALL KITCHEN COUNTER OUTLETS MUST BE 48" APART.
ALL KITCHEN COUNTER OUTLETS WITHIN 6" OF A WATER SOURCE MUST BE GFI.
SEE HOME OWNER FOR HOW MANY ADDITIONAL OUTLETS.

- Ceiling Fan W/ Light Fixture 5.0 EA
- Drop Down Incandescent Light Fixture 4.0 EA
- Recessed Light Fixture 28.0 EA
- Incandescent Light Fixture 3.0 EA
- Light / Exhaust Fan Unit 3.0 EA
- Vanity Light Fixture 6.0 EA
- Fluorescent Light Fixture 1.0 EA
- Smoke Detector 4.0 EA
- Chandelier Light Fixture 1.0 EA
- Door Bell 1.0 EA
- Duplex Receptacle Outlet 20.0 EA
- Exterior Weather Proof Duplex Receptacle Outlet 18.0 EA
- Co Detector 3.0 EA
- Television Service Connection 5.0 EA
- Exterior Security Light Fixture W/ Automatic Sensor 4.0 EA
- Wall Mounted Incandescent Light Fixture 3.0 EA
- Electrical Service Meter W/ Main Disconnect 1.0 EA
- Electrical Service Breaker Panel 1.0 EA
- Ground- Fault Circuit Interruptor 8.0 EA
- Door Chime 1.0 EA
- 220 Volt Receptacle Outlet 2.0 EA
- Single Pole Electrical Switch 31.0 EA
- Tree-Way Electrical Fixture Switch 2.0 EA
- Allowance For Wiring And Conduite 1590.0 SQ FT



DEVICE CONNECTION
Scale: N.T.S.

PROPOSED STUCCO & DETAILS
DATE: 05.17.2024
DRAWN: Esmeralda

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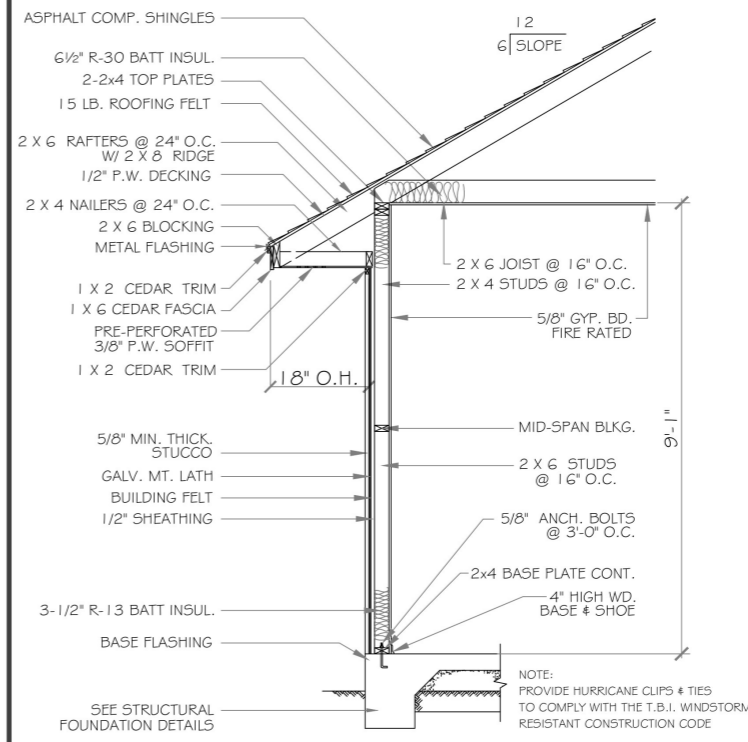
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PROJECT TYPE: PROPOSED STUCCO & STONE VENEER HOME
SHEET TITLE: FOUNDATION PLAN & DETAILS
SCALE: AS NOTED
OWNER: GARZA RESIDENCE

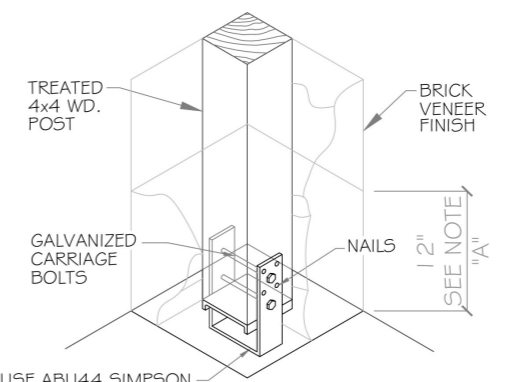
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FOUNDATION & CONCRETE NOTES

1. CONCRETE SHALL ATTAIN 3000 PSI COMPRESSIVE STRENGTH IN 28 DAYS, MAX SLUMP 4-1/2".
2. ALL MATERIALS USED IN MIXING OF STRUCTURAL CONC. SHALL BE CLEAN AND FREE OF ANY DELETERIOUS MATERIALS. ONLY POTABLE WATER SHALL BE USED.
3. CEMENT USED IN CONCRETE SHALL BE TYPE I PORTLAND CEMENT.
4. CONCRETE SHALL BE ALLOWED TO CURE FOR 28 DAYS, UNLESS OTHERWISE APPROVED BY BUILDER.
5. ALL REINFORCING STEEL SHALL BE CLEAN AND FREE OF ANY DELETERIOUS MATERIALS (SUCH AS GREASE ETC.) THAT MIGHT PREVENT BONDING TO CONCRETE.
6. ALL REINFORCING STEEL SHALL BE ASTM A615 GRADE 60 NEW BILLET STEEL.
7. VIBRATION OF CONCRETE SHALL BE PERFORMED SO AS NOT TO CAUSE SEGREGATION OF AGGREGATES.
8. ALL REINFORCING TO HAVE A MIN. 1-1/2" MIN. COVER EXCEPT AS NOTED ON DETAILS.
9. WATER PROOFING SHALL BE WITH 6 MIL. POLYETHYLENE MEMBRANE. INSTALL AFTER TERMITE TREATMENT IS PERFORMED.
10. ALL REINFORCING STEEL FABRICATION AND CONCRETE TO MEET ACI 318 - 93.
11. CONCRETE AGGREGATE TO CONFORM TO ASTM C-33.
12. READY MIX CONCRETE TO CONFORM TO ASTM C-94.
13. AT ALL BEAM INTERSECTIONS LET DEEPER BEAM CARRY THROUGH.
14. THE BUILDING AREA SHALL BE CLEAR OF DEBRIS AND ORGANIC MATERIALS PRIOR TO FOUNDATION CONSTRUCTION
15. THE FILL MATERIAL AS WELL AS SUB-SOIL SHALL BE THOROUGHLY DAMPED IMMEDIATELY PRIOR TO POURING OF CONCRETE TO PROVIDE AT LEAST THE AMOUNT OF OPTIMUM MOISTURE CALLED FOR THESE SPECS.
16. BUILDING AREAS TO BE STRIPPED OF ALL VEGETATION. CLEAR ALL ROOTS AND EXCAVATE SOFT SPOTS IN THE SUBGRADE. EXPOSED SUBGRADE TO BE SCARIFIED TO A DEPTH OF 8 TO 10 INCHES AS REQUIRED BY FIELD INSPECTION BY BUILDER AND MOISTURE CONDITIONED TO WITHIN -2 TO +3 PERCENT OF THE OPTIMUM MOISTURE CONTENT. THE SUBGRADE IS TO BE COMPACTED TO 95% OF THE MAXIMUM DENSITY AS DETERMINED BY THE STANDARD MOISTURE-DENSITY RELATION.
17. PROVIDE TREATMENT OF FILL FOR ENTIRE SLAB FOR PROTECTION AGAINST TERMITES.

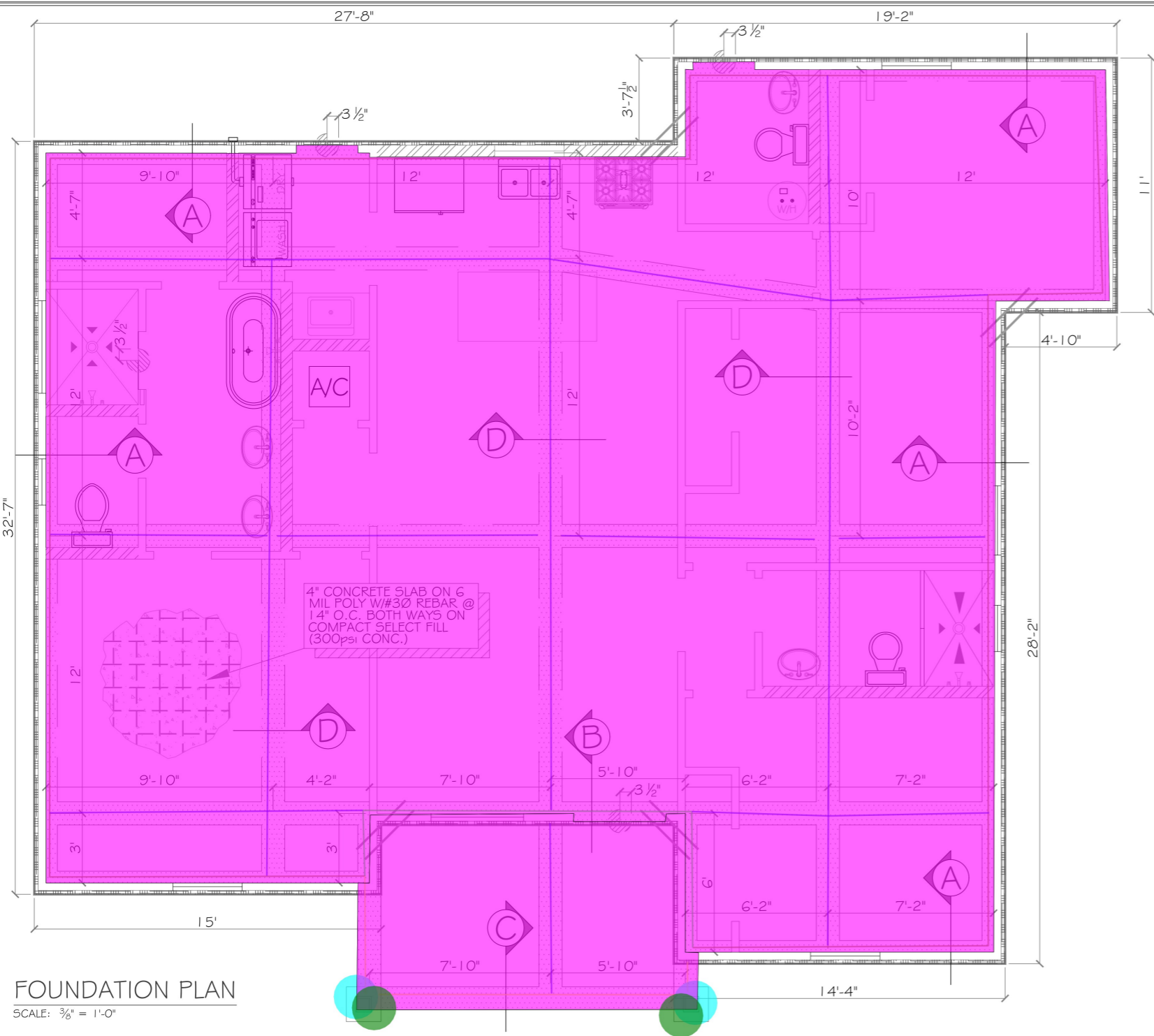


STUCCO FINISH

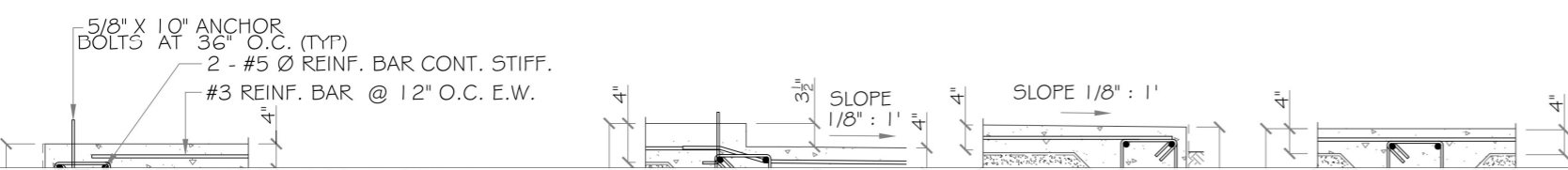


POST ANCHORING DETAIL

Scale: N.T.S.

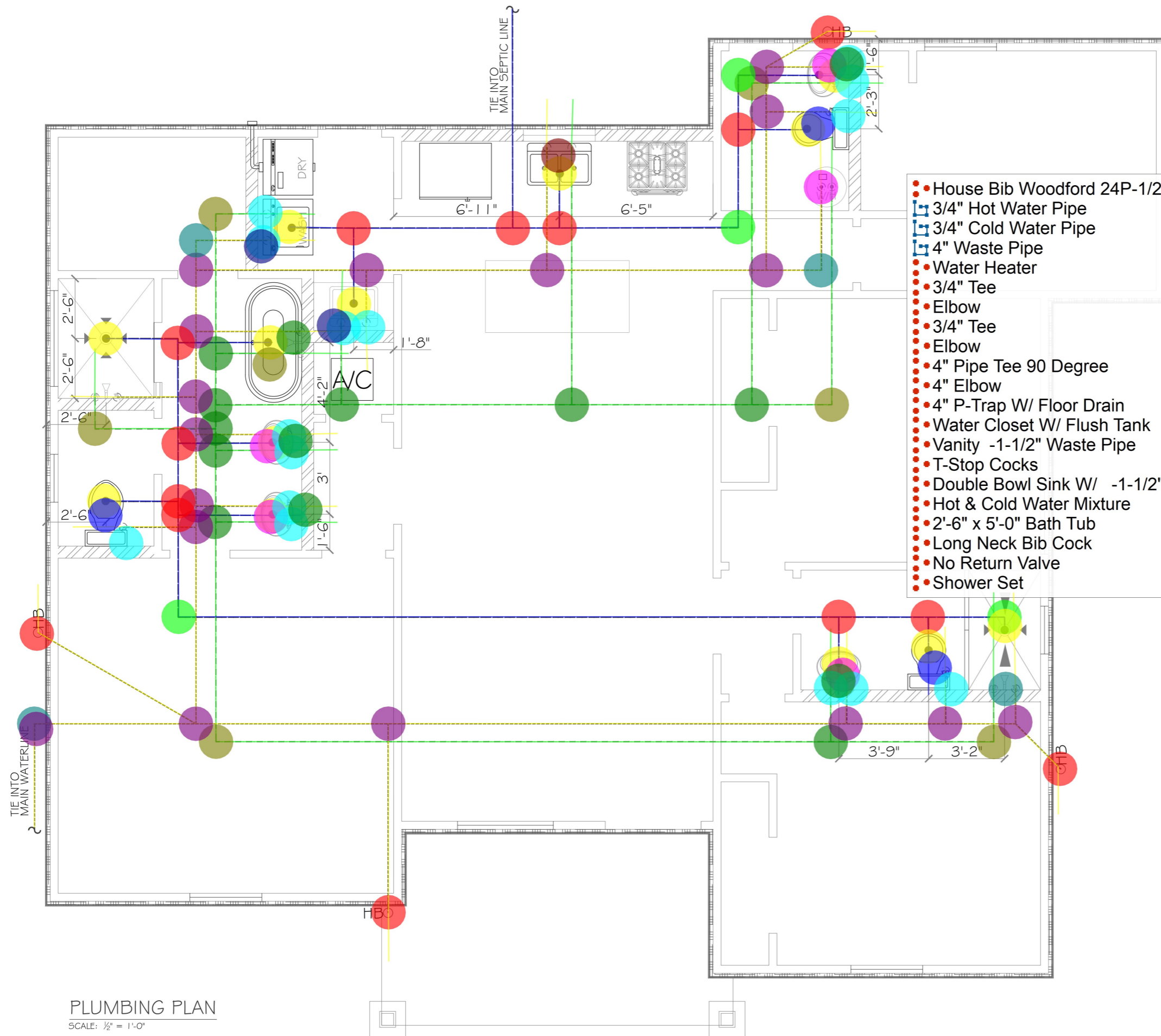


FOUNDATION PLAN
SCALE: 3/8" = 1'-0"



- A: 12" x 30" Concrete Footing 034 Sf Thicken Edge
- B: 12" x 30" Concrete Footing 0.23 Sf Thicken Edge
- C: 12" x 24" Concrete Footing 0.15 Sf Thicken Edge
- D: 12" x 24" Concrete Footing 0.30 Sf Thicken Edge
- 4" Concrete Slab 6mili Polyethylene Membrain W# 30 Rebar @ 14" O.C Each Way
- 2'-6" x 2'-6" x 1'-0" Pad Footing W/ 1'-6" x 1'-6" x 3'-9" Masonry Piar
- 4'-0" x 4'-0" Wood Post (7'-9" H.)

- 148.9 FT
- 22.9 FT
- 19.3 FT
- 205.0 FT
- 1511.5 SQ FT
- 2.0 EA
- 2.0 EA



PLUMBING NOTES

1. ALL WORK SHALL COMPLY WITH THE PLUMBING CODE AND ALL LOCAL ORDINANCES AND INSTALLATION STANDARDS REQUIRED BY THE CITY.
2. WATER PIPING SHALL BE TYPE "L" PVC WITH WROUGHT PVC FITTINGS ASSEMBLED USING SIL-FOS SILVER SOLDER PER ANSI H-23.1.
3. WATER PIPE INSULATION SHALL BE 1" THICK FIBERGLASS WITH SELF SEALING, ALUMINUM FOIL, GLASS REINFORCED, KRAFT PAPER JACKET APPLIED AS PER MANUFACTURERS RECOMMENDATION.
4. WASTE PIPING SHALL BE PVC 40 AND FITTINGS MADE UP WITH CEMENT IN ACCORDANCE WITH RECOMMENDATIONS. MINIMIZE THE EFFECT OF THE CURVE IN THE DIRECTION OF FLOW.
5. COORDINATE ALL WORK WITH ARCHITECTURAL DRAWINGS. IN THE EVENT OF A DISCREPANCY, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT TO MINIMIZE THE EFFECT OF THE DISCREPANCY.
6. UNLESS SPECIFICALLY DIRECTED BY ARCHITECTURAL DRAWINGS, THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES. ANY BRANCH TRENCHING FOR A/C UNIT REFRIGERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES. ANY BRANCH TRENCHING FOR A/C UNIT REFRIGERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
8. ALL UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE.
9. THE CONTRACTOR SHALL VERIFY THE LOCATION OF EXISTING SITE UTILITIES TO VERIFY CONNECTIONS AND SLOPES TO EXISTING UTILITIES.
10. WHEN A SANITARY SEWER LINE CROSSES OVER A POTABLE WATER PIPE, THE CONTRACTOR SHALL INSTALL ONE SECTION OF DOUBLE IRON OR SDR 26 PIPE, CENTERED AT THE CROSSING POINT.
11. HOSE BIBS SHALL BE WOODFORD 24P-1/2" WITH TEE KEY OR EQUAL.
12. ALL PLUMBING VENTS THROUGH ROOF SHALL BE A MINIMUM OF 10 FEET FROM A/C ROOFTOP'S UNITS AIR INTAKE.
13. THE CONTRACTOR SHALL CONTACT THE CITY/COUNTY WASTE AND WASTEWATER INSPECTION DIVISION PRIOR TO COMMENCEMENT OF ANY WORK IN EASEMENTS OR RIGHT-OF-WAYS.

- House Bib Woodford 24P-1/2" W/ Tee Key
- 3/4" Hot Water Pipe
- 3/4" Cold Water Pipe
- 4" Waste Pipe
- Water Heater
- 3/4" Tee
- Elbow
- 3/4" Tee
- Elbow
- 4" Pipe Tee 90 Degree
- 4" Elbow
- 4" P-Trap W/ Floor Drain
- Water Closet W/ Flush Tank
- Vanity -1-1/2" Waste Pipe
- T-Stop Cocks
- Double Bowl Sink W/ -1-1/2" Waste Pipe
- Hot & Cold Water Mixture
- 2'-6" x 5'-0" Bath Tub
- Long Neck Bib Cock
- No Return Valve
- Shower Set

4.0 EA	168.0 FT	202.1 FT	118.6 FT	1.0 EA	9.0 EA	6.0 EA	16.0 EA	3.0 EA	10.0 EA	4.0 EA	13.0 EA	3.0 EA	4.0 EA	15.0 EA	1.0 EA	5.0 EA	1.0 EA	2.0 EA	1.0 EA	1.0 EA
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LEGEND	
-----	PROPOSED COLD WATER
-----	PROPOSED HOT WATER
-----	PROPOSED SEWER LINE
CHB	PROPOSED HOSE BIB

PLUMBING PLAN
SCALE: 1/2" = 1'-0"

SHEET
6
of 7

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ERH DRAFTING AND DESIGN SERVICES
956.622.8936
esmer_rco07@yahoo.com

PROJECT TYPE: PROPOSED STUCCO & STONE VENEER HOME
SHEET TITLE: PLUMBING PLAN # DETAILS
SCALE: AS NOTED
OWNER: GARZA RESIDENCE

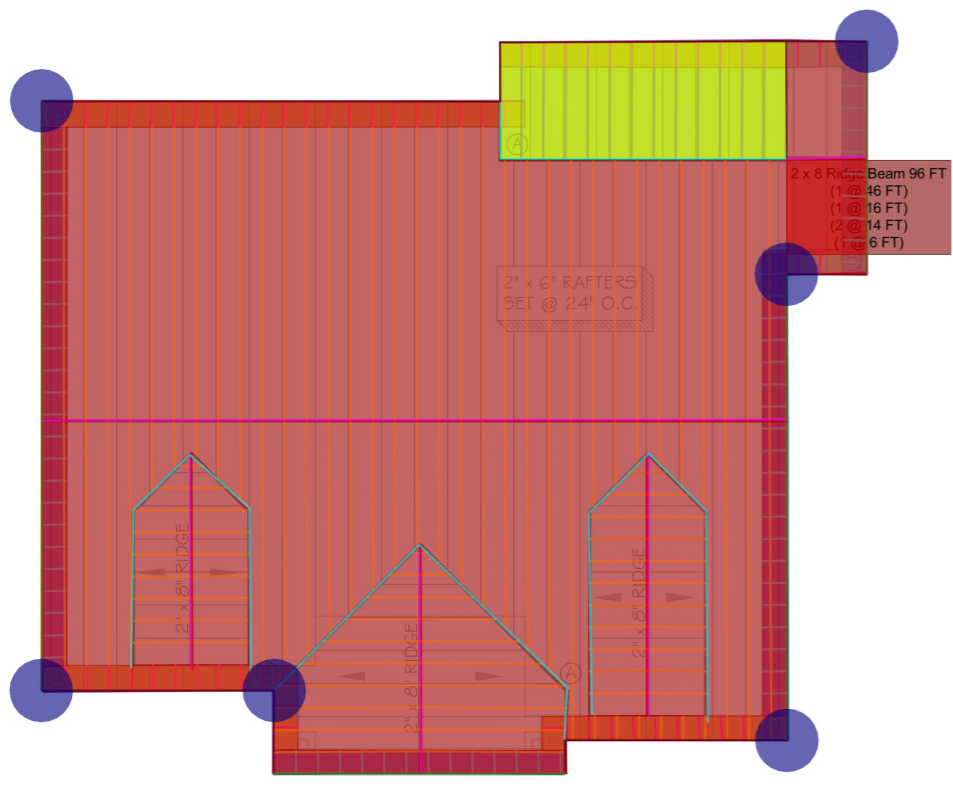
DATE: 05.17.2024
DRAWN: Esmeralda
CAD NO: 2024.004

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ERH DRAFTING AND DESIGN SERVICES
956.622.8836
esmer_roc07@yahoo.com

PROJECT TYPE: PROPOSED STUCCO & STONE VENEER HOME
SHEET TITLE: ROOF DESIGN & ELEVATIONS
SCALE: AS NOTED
OWNER: GARZA RESIDENCE

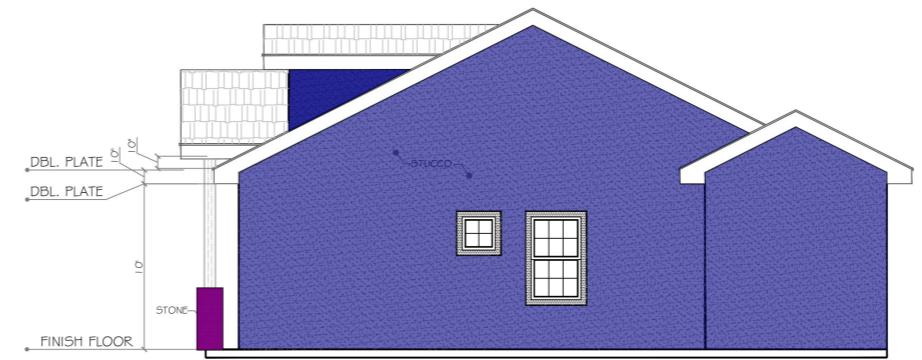
DATE: 05.17.2024
DRAWN: Esmeralda
CAD NO: 2024.004



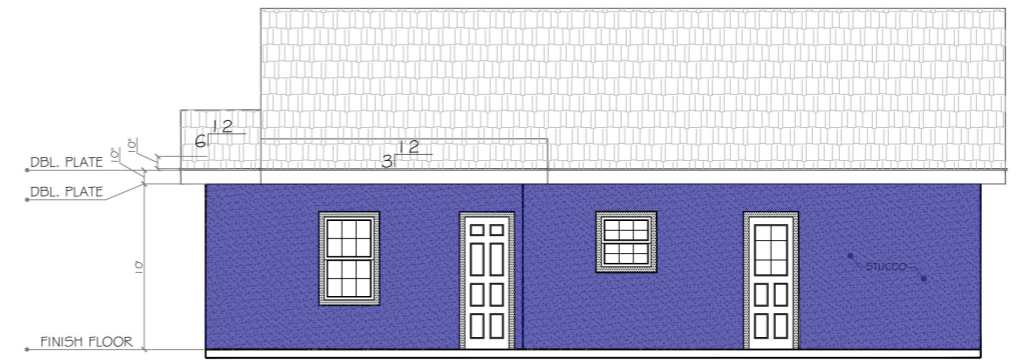
ROOF DESIGN
SCALE: 3/16" = 1'-0"



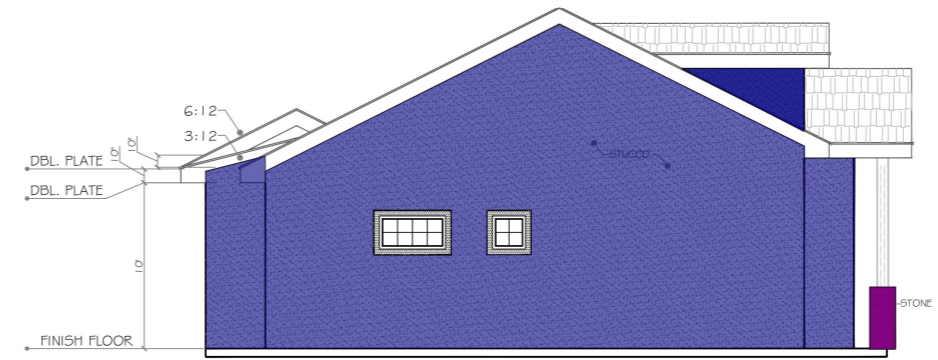
FRONT ELEVATION
SCALE: 3/16" = 1'-0"



RIGHT ELEVATION
SCALE: 3/16" = 1'-0"

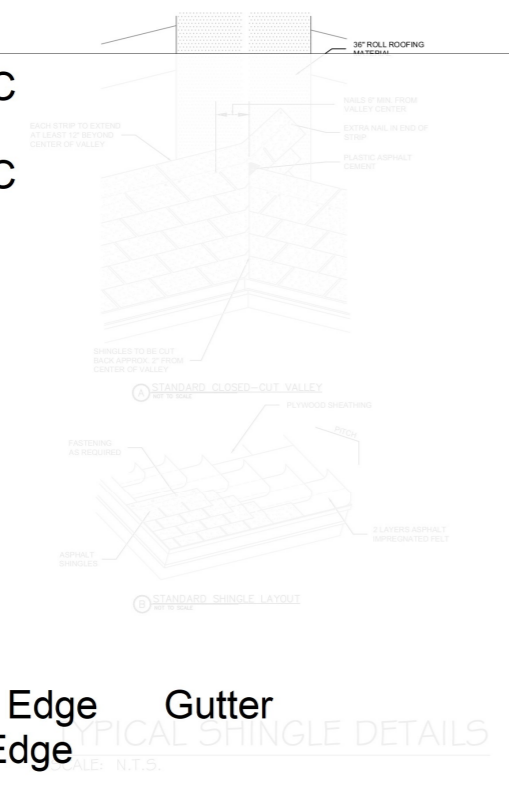


REAR ELEVATION
SCALE: 3/16" = 1'-0"



LEFT ELEVATION
SCALE: 3/16" = 1'-0"

	2 x 6 Roof Rafter @ 24" O.C	1740.1 SQ FT	
	2 x 8 Ridge Beam	96.0 FT	
	2 x 6 Roof Rafter @ 16" O.C	124.7 SQ FT	
	2 x 4 Outrigger @ 16" O.C	134.2 SQ FT	
	2 x 4 Outrigger @ 16" O.C	136.5 SQ FT	
	2 x 6 Blocking	90.7 FT	
	2 x 6 Blocking	106.6 FT	
	Stucco @ Exterior	1851.6 SQ FT	
	Stone Veneer	187.1 SQ FT	
	Stone Cap	32.0 FT	
	RidgeShingle & Flashing	92.1 FT	
	Shingles Roofing	0.0 SQ FT	
	Shingles Roofing	112.8 FT	
	Shingles Roofing	0.0 SQ FT	
	1'-6" Vanted Soffit W/ Drip Edge Gutter	92.9 FT	
	1'-6" Sollid Soffit W/ Drip Edge	106.9 FT	
	Downspout 12'-0" H.	6.0 EA	
	2 x 6 Roof Rafter	1204.4 FT	
	Standard Joist	91.2 FT	
	2 x 4 Outrigger	94.6 FT	
	2 x 4 Outrigger	100.5 FT	



ROOF NOTES
1. PROVIDE SADDLES AND CRICKETS AS REQUIRED FOR PROPER WATER DRAINAGE.

GENERAL SUMMARY

Prepared for: 6433 N. Tower Road Edinburg, Texas 78542
Project ID: 10062024
Scope: G.C
No. Of Floors: 1
Date: 10-Jun-24



BUILDING GSF 1,586

DIVISION NO	DESCRIPTION	TOTAL DIV. COST	TOTAL DIV. COST (PER SF)
6000	Wood, Plastics & Composites	\$ 42,349	\$ 26.70
TOTAL TRADE COST		\$ 42,349	\$ 27
OVERHEAD AND PROFIT			
	10%	\$ 4,235	\$ 2.67
TAX		\$ 2,868	\$ 14
SUGGESTED BID		\$ 49,452	\$ 43

DIVISION COST COMPARISON



DETAILED BREAKDOWN OF ITEMS

Prepared for: 6433 N. Tower Road Edinburg, Texas 78542
 Project ID: 10062024
 Scope: G.C



TOTAL TRADE COST	\$0
OH & PROFIT	\$228
INSURANCE	
CONTINGENCY	\$11
TAX	\$0
SUGGESTED BID	\$0

Date: 10-Jun-24

SR #	Drawing #	Detail #	DESCRIPTION	UNIT	QUANTIT Y	WASTAG E	QUANTITY W/ WASTAGE	UNIT MANHOU R	HOURLY WAGE	LABOR COST	MAT. COST	UNIT COST	SUB COST
WOOD & PLASTIC													
ROUGH CARPENTRY													
ROOF SHEATHING													
1			4' x 8' x 1/2" Plywood Sheathing (2085 SF)	EA	73	0%	73	0.320	\$ 30.00	\$ 9.60	\$ 33.99	\$ 43.59	\$ 3,165
2				Nailing EA	5445	0%	5445	0.001	\$ 30.00	\$ 0.03	\$ 0.05	\$ 0.08	\$ 436
3				H-Clips EA	290	0%	290	0.040	\$ 30.00	\$ 1.20	\$ 0.19	\$ 1.39	\$ 402
CEILING FRAMING													
2 x 8 Ceiling Joist @ 16" O.C (982 LF)													
4			2 x 8 Ceiling Joist @ 16' L.	EA	34	0%	34	0.288	\$ 30.00	\$ 8.64	\$ 27.20	\$ 35.84	\$ 1,219
5			2 x 8 Ceiling Joist @ 14' L.	EA	31	0%	31	0.252	\$ 30.00	\$ 7.56	\$ 23.80	\$ 31.36	\$ 972
6			2 x 8 Ceiling Joist @ 12' L.	EA	9	0%	9	0.216	\$ 30.00	\$ 6.48	\$ 20.40	\$ 26.88	\$ 242
7			2 x 8 Ceiling Joist @ 6' L.	EA	4	0%	4	0.108	\$ 30.00	\$ 3.24	\$ 10.20	\$ 13.44	\$ 54
8			2 x 8 Ceiling Joist @ 10' L.	EA	4	0%	4	0.180	\$ 30.00	\$ 5.40	\$ 17.00	\$ 22.40	\$ 90
ROOF RAFTER													
2 x 6 Roof Rafter @ 24" O.C (1204 LF)													
9			2 x 6 Roof Rafter @ 12' L.	EA	10	0%	10	0.192	\$ 30.00	\$ 5.76	\$ 17.04	\$ 22.80	\$ 228
10			2 x 6 Roof Rafter @ 10' L.	EA	3	0%	3	0.160	\$ 30.00	\$ 4.80	\$ 14.20	\$ 19.00	\$ 57
11			2 x 6 Roof Rafter @ 8' L.	EA	7	0%	7	0.128	\$ 30.00	\$ 3.84	\$ 11.36	\$ 15.20	\$ 106
12			2 x 6 Roof Rafter @ 6' L.	EA	40	0%	40	0.096	\$ 30.00	\$ 2.88	\$ 8.52	\$ 11.40	\$ 456
13			2 x 6 Roof Rafter @ 4' L.	EA	21	0%	21	0.064	\$ 30.00	\$ 1.92	\$ 5.68	\$ 7.60	\$ 160
14			2 x 6 Roof Rafter @ 2' L.	EA	4	0%	4	0.032	\$ 30.00	\$ 0.96	\$ 2.84	\$ 3.80	\$ 15
15			2 x 6 Roof Rafter @ 20' L.	EA	19	0%	19	0.320	\$ 30.00	\$ 9.60	\$ 28.40	\$ 38.00	\$ 722
16			2 x 6 Roof Rafter @ 18' L.	EA	3	0%	3	0.288	\$ 30.00	\$ 8.64	\$ 25.56	\$ 34.20	\$ 103
17			2 x 6 Roof Rafter @ 16' L.	EA	2	0%	2	0.256	\$ 30.00	\$ 7.68	\$ 22.72	\$ 30.40	\$ 61
18			2 x 6 Roof Rafter @ 14' L.	EA	4	0%	4	0.224	\$ 30.00	\$ 6.72	\$ 19.88	\$ 26.60	\$ 106
19			2 x 6 Roof Rafter @ 24' L.	EA	24	0%	24	0.384	\$ 30.00	\$ 11.52	\$ 34.08	\$ 45.60	\$ 1,094
2 x 6 Roof Rafter @ 16" O.C (91 LF)													
20			Standard Joist @ 10' L.	EA	12	0%	12	0.160	\$ 30.00	\$ 4.80	\$ 14.20	\$ 19.00	\$ 228
21			Standard Joist @ 6' L.	EA	1	0%	1	0.096	\$ 30.00	\$ 2.88	\$ 8.52	\$ 11.40	\$ 11
ROOF OUTRIGGER													
2 x 4 Outrigger @ 16" O.C (95 LF)													
22			2 x 4 Outrigger @ 4' L.	EA	61	0%	61	0.056	\$ 30.00	\$ 1.68	\$ 4.40	\$ 6.08	\$ 371
23			2 x 4 Outrigger @ 2' L.	EA	2	0%	2	0.028	\$ 30.00	\$ 0.84	\$ 2.20	\$ 3.04	\$ 6
2 x 4 Outrigger @ 16" O.C (100 LF)													
24	SHEET # 7		2 x 4 Outrigger @ 4' L.	EA	68	0%	68	0.056	\$ 30.00	\$ 1.68	\$ 4.40	\$ 6.08	\$ 413
RIDGE BEAM													
2 x 8 Ridge Beam													
25			2 x 8 Ridge Beam @ 46' L.	EA	1	0%	1	1.250	\$ 30.00	\$ 37.50	\$ 84.18	\$ 121.68	\$ 122
26			2 x 8 Ridge Beam @ 16' L.	EA	1	0%	1	0.400	\$ 30.00	\$ 12.00	\$ 29.28	\$ 41.28	\$ 41
27			2 x 8 Ridge Beam @ 14' L.	EA	2	0%	2	0.370	\$ 30.00	\$ 11.10	\$ 25.62	\$ 36.72	\$ 73
28			2 x 8 Ridge Beam @ 6' L.	EA	1	0%	1	0.200	\$ 30.00	\$ 6.00	\$ 10.98	\$ 16.98	\$ 17
LEDGER BOARD													
29			2 x 6 Leger Board @ 16' L.	EA	4	0%	4	0.256	\$ 30.00	\$ 7.68	\$ 22.72	\$ 30.40	\$ 133

DETAILED BREAKDOWN OF ITEMS

Prepared for: 6433 N. Tower Road Edinburg, Texas 78542
 Project ID: 10062024
 Scope: G.C



TOTAL TRADE COST	\$0
OH & PROFIT	\$228
INSURANCE	
CONTINGENCY	\$11
TAX	\$0
SUGGESTED BID	\$0

Date: 10-Jun-24

SR #	Drawing #	Detail #	DESCRIPTION	UNIT	QUANTIT Y	WASTAG E	QUANTITY W/ WASTAGE	UNIT MANHOU R	HOURLY WAGE	LABOR COST	MAT. COST	UNIT COST	SUB COST
			BEAM										
			1'-0" x 1'-0" Exposed Beam	LF	136								
30			1'-0" x 1'-0" Exposed Beam @ 16' L.	EA	3	0%	3	3.200	\$ 30.00	\$ 96.00	\$ 2,403.99	\$ 2,499.99	\$ 7,500
31			1'-0" x 1'-0" Exposed Beam @ 14' L.	EA	4	0%	4	2.800	\$ 30.00	\$ 84.00	\$ 2,103.99	\$ 2,187.99	\$ 8,752
32			1'-0" x 1'-0" Exposed Beam @ 4' L.	EA	4	0%	4	1.200	\$ 30.00	\$ 36.00	\$ 600.99	\$ 636.99	\$ 2,548
33			1'-0" x 1'-0" Exposed Beam @ 8' L.	EA	2	0%	2	1.800	\$ 30.00	\$ 54.00	\$ 1,201.99	\$ 1,255.99	\$ 2,512
			BLOCKING										
34			2 x 6 Blocking @ 16' L.	EA	13	0%	13	0.256	\$ 30.00	\$ 7.68	\$ 22.72	\$ 30.40	\$ 395
			POST										
35			4" x 4" Wood Post (7'-9" H.)	EA	2	0%	2	0.310	\$ 30.00	\$ 9.30	\$ 15.97	\$ 25.27	\$ 51
			HARDWARE										
36			5/8" Dia Anchor Bolts @ 32" O.C	EA	182	0%	182	0.050	\$ 30.00	\$ 1.50	\$ 2.89	\$ 4.39	\$ 799
37			Simpson @ Studs	EA	182	0%	182	0.046	\$ 30.00	\$ 1.38	\$ 1.79	\$ 3.17	\$ 577
38			Simpson @ Ceiling Joist	EA	164	0%	164	0.080	\$ 30.00	\$ 2.40	\$ 6.56	\$ 8.96	\$ 1,469
39			Simpson @ Roof Rafters	EA	562	0%	562	0.082	\$ 30.00	\$ 2.46	\$ 6.99	\$ 9.45	\$ 5,311
40			Simpson ABU44 Strong Tie	EA	2	0%	2	0.200	\$ 30.00	\$ 6.00	\$ 23.77	\$ 29.77	\$ 60
			FINISH CARPENTRY										
			CABINERY & MILLWORK										
41			2'-0" Deep Base Cabinet 2'-10" H.	LF	15	10%	16	0.520	\$ 35.00	\$ 18.20		\$ 18.20	\$ 296
42			1'-0" Deep Top Cabinet 2'-6" H.	LF	13	10%	14	0.480	\$ 35.00	\$ 16.80		\$ 16.80	\$ 241
43			1'-0" Deep Closet	LF	38	10%	42	0.500	\$ 35.00	\$ 17.50		\$ 17.50	\$ 735
			note: installation only										
SUBTOTAL												\$	42,349
PROJECTED COST												\$42,349	
OVERHEAD AND PROFIT												10%	\$4,235
TAX												8%	\$2,868
SUGGESTED BID													\$49,452

MATERIAL LIST

	WOOD		
1	2 x 4 Wood Studs @ 16" O.C 12'-0 H.	EA	256
2	2 x 6 Wood Studs @ 16" O.C 12'-0 H.	EA	55
3	2 x 4 P.T Bottom Plate @ 16' L.	EA	22
4	2 x 6 P.T Bottom Plate @ 16' L.	EA	4
5	2 x 4 Top Plate @ 16' L.	EA	42
6	2 x 6 Top Plate 16' L.	EA	9
	JOIST & RAFTER		
7	2 x 8 Ceiling Joist @ 16' L.	EA	34
8	2 x 8 Ceiling Joist @ 14' L.	EA	31
9	2 x 8 Ceiling Joist @ 12' L.	EA	9
10	2 x 8 Ceiling Joist @ 6' L.	EA	4
11	2 x 8 Ceiling Joist @ 10' L.	EA	4
12	2 x 6 Roof Rafter @ 12' L.	EA	10
13	2 x 6 Roof Rafter @ 10' L.	EA	13
14	2 x 6 Roof Rafter @ 8' L.	EA	7
15	2 x 6 Roof Rafter @ 6' L.	EA	41
16	2 x 6 Roof Rafter @ 4' L.	EA	21
17	2 x 6 Roof Rafter @ 2' L.	EA	4
18	2 x 6 Roof Rafter @ 20' L.	EA	19
19	2 x 6 Roof Rafter @ 18' L.	EA	3
20	2 x 6 Roof Rafter @ 16' L.	EA	2
21	2 x 6 Roof Rafter @ 14' L.	EA	4
22	2 x 6 Roof Rafter @ 24' L.	EA	24
23	2 x 4 Outrigger @ 4' L.	EA	129
24	2 x 4 Outrigger @ 2' L.	EA	2
	SHEATHING & GYPSUM BOARD		
25	1/2" Plywood Sheathing	EA	134
26	5/8" Gypsum Wall Board (4' x 8')	EA	168
27	5/8" Cement Wall Board (4' x 8')	EA	27
28	5/8" Moisture Resistance Gypsum Wall Board (4' x 8')	EA	23
29	1/2" Gypsum Board Ceiling (4' x 8')	EA	39
30	1/2" Concrete Ceiling (4' x 8')	EA	4
31	1/2" Moisture Resistance Ceiling (4' x 8')	EA	7
	HARDWARE		
32	5/8" Dia Anchor Bolts @ 32" O.C	EA	182
33	Simpson @ Studs	EA	182
34	Simpson @ Ceiling Joist	EA	164
35	Simpson @ Roof Rafters	EA	562
36	Simpson ABU44 Strong Tie	EA	2
37	Misc.	LS	1
38	Nailing	EA	10024
39	H-Clips	EA	290
40	Tapping	LF	4687
41	Mudding	LBS	497

42	Screw	EA	12784
43	Sealant	LF	1654
	BEAM		
44	2 x 8 Ridge Beam @ 46' L.	EA	1
45	2 x 8 Ridge Beam @ 16' L.	EA	1
46	2 x 8 Ridge Beam @ 14' L.	EA	2
47	2 x 8 Ridge Beam @ 6' L.	EA	1
48	1'-0" x 1'-0" Exposed Beam @ 16' L.	EA	3
49	1'-0" x 1'-0" Exposed Beam @ 14' L.	EA	4
50	1'-0" x 1'-0" Exposed Beam @ 4' L.	EA	4
51	1'-0" x 1'-0" Exposed Beam @ 8' L.	EA	2
	LEDGER BOARD, POST & BLOCKING		
52	2 x 6 Leger Board @ 16' L.	EA	4
53	2 x 6 Blocking @ 16' L.	EA	18
54	2 x 4 Blocking @ 16' L.	EA	22
55	4" x 4" Wood Post (7'-9" H.)	EA	2
	CABINETS & MILLWORK		
56	2'-0" Deep Base Cabinet 2'-10" H.	LF	15
57	1'-0" Deep Top Cabinet 2'-6" H.	LF	13
58	1'-0" Deep Closet	LF	38